



# City of Galena, Illinois

## AGENDA

REGULAR CITY COUNCIL MEETING

MONDAY, JUNE 13, 2016 (Revised)

6:30 P.M. – CITY HALL 101 GREEN STREET

ITEM	DESCRIPTION
16C-0224.	Call to Order by Presiding Officer
16C-0225.	Roll Call
16C-0226.	Establishment of Quorum
16C-0227.	Pledge of Allegiance
16C-0228.	Reports of Standing Committees
16C-0229.	Citizens Comments <ul style="list-style-type: none"> <li>• Not to exceed 15 minutes as an agenda item</li> <li>• Not more than 3 minutes per speaker</li> <li>• No testimony on zoning items where a public hearing has been conducted</li> </ul>

## PUBLIC HEARINGS

None.

## LIQUOR COMMISSION

ITEM	DESCRIPTION	PAGE
16C-0230.	Discussion and Possible Action on a Request for a Class D Liquor License by Keng Gao and Mi Li, DBA Little Tokyo, 300 North Main Street	4-8
16C-0231.	Discussion and Possible Action on a Request for a Class D Corporation Liquor License Manager by Keng Gao DBA Little Tokyo, 300 North Main Street	4-8

**CONSENT AGENDA CA16-11**

<b>ITEM</b>	<b>DESCRIPTION</b>	<b>PAGE</b>
16C-0232.	Approval of the Minutes of the Regular City Council Meeting of May 23, 2016	9-15
16C-0233.	Approval of a Memorandum of Understanding Between the City of Galena and the Public Works Teamsters Union Regarding Employee Uniform Allowance	16-17
16C-0234.	Approval of a Fundraising Event Permit for the Crossfit Row Raiser, 6:30 a.m. to 2:30 p.m., July 9, 2016 at Depot Park	18
16C-0235.	Approval of Purchase of 2017 Ford Explorer by Police Department	19-20
16C-0236.	Approval of Contract with White Construction, Inc. for Police Department Porch Repair	21
16C-0237.	Approval of Contract with Welu Painting for Police Department Porch Painting	21

**UNFINISHED BUSINESS**

<b>ITEM</b>	<b>DESCRIPTION</b>	<b>PAGE</b>
16C-0215.	First Reading of an Ordinance to Execute the First Addendum to the Annexation Agreement for the Gateway Park Subdivision (Formerly Known as the Sullivan Subdivision) on Powder House Hill Road	22-29
16C-0216.	Discussion and Possible Action on the Final Plat of Subdivision for the Gateway Park Subdivision (Formerly Known as the Sullivan Subdivision)	30-53

**NEW BUSINESS**

<b>ITEM</b>	<b>DESCRIPTION</b>	<b>PAGE</b>
16C-0238.	Discussion and Possible Action on a Request by the Galena Dog Park Committee for Approval to Conduct Feasibility Studies Regarding Financial Considerations and Location of the Following Potential Sites for a Dog Park: 1. Rec Park; 2 and 3: two Areas in Scenic Meadows; 4. Turtle Pond	54
16C-0239.	Discussion and Possible Action on a Request from the Galena School Board for Assistance with the Installation of a Sewer Valve at the High School	55

ITEM	DESCRIPTION	PAGE
16C-0240.	Discussion and Possible Action on a Request by the Galena Historical Society and Museum to Conduct the First Annual "Heroes for History" Stair Run/Walk on September 10, 2016	56-57
16C-0241.	Discussion and Possible Action on the Selection of Contractors for 2016 Infrastructure Repair and Construction	58
16C-0242.	Discussion and Possible Action on Initiating a Zoning Text Amendment Application to Regulate Airbnb	--
16C-0243.	Warrants	59-69
16C-0244.	Alderspersons' Comments	
16C-0245.	City Administrator's Report	
16C-0246.	Mayor's Report	
16C-0247.	Adjournment	

**CALENDAR INFORMATION**

BOARD/COMMITTEE	DATE	TIME	PLACE
Historic Preservation Comm.	Thurs. June 16	6:30 P.M.	City Hall, 101 Green Street
City Council	Mon. June 27	6:30 P.M.	City Hall, 101 Green Street
Turner Hall Committee	Thurs. July 7	8:30 A.M.	Turner Hall, 115 S. Bench Street
Zoning Board of Appeals	Wed. July 13	6:30 P.M.	City Hall, 101 Green Street

Posted: Thursday, June 9, 2016 at 3:30 p.m. Posted By:



311 N. Bench Street, Galena, IL 61036-1809

**Chief of Police**  
Lori Huntington

(815) 777-2131  
FAX (815) 777-4736

DATE: June 6, 2016

TO: Honorable Mayor Terry Renner & City Alderpersons

FROM: Chief Lori Huntington *LH*

RE: Application for Corporation Liquor License - Keng Gao  
and Mi Li, DBA Little Tokyo, 300 N. Main Street, Galena,  
and Corporation Manager's License - Keng Gao.

A check of federal, state, and local criminal records reveals no information that would prohibit these applicants from holding the licenses for which they have applied.



The renewal applicant has applied for and been granted:

State Liquor License #: \_\_\_\_\_ Expiration Date: \_\_\_\_\_ (Attach Copy)

Illinois Sales Tax #: \_\_\_\_\_ Expiration Date: \_\_\_\_\_ (Attach Copy)

Liquor revenues are from the sale of:  Beer  Beer & Wine  Alcoholic Liquor  Wine only

For consumption:  On Premises  Off Premises  Both

State principle type of business (Tavern, Restaurant, etc.): Restaurant

How will employees be trained for liquor sales? BASSET Training

The general description, including approximate square footage, of the premises or place of business which is to be operated under the proposed license: 3000 sqft

(Attach a scaled drawing of the premises showing all ingress and egress locations, windows, and location of bar.)

Do you hold any other current Liquor Licenses within the City of Galena?  Yes  No

If so, please specify: \_\_\_\_\_

If a corporation or partnership, please list all names of Owners, Officers, Directors, Stockholders, Members and/or Partners owning more than 5%.

Name	Address	City, State, Zip	Date of Birth	Phone #
Keng Gao	300 N Main St	Galena IL 61036	03/26/1987	646309-1506
Mi Li	300 N Main St	Galena IL 61036	7/7/1987	917-288-5286

**Manager Information (manager must complete manager application):**

Name: ~~Keng~~ Gao Last Keng First M.I. \_\_\_\_\_

Address: 300 N Main St Galena City IL State 61036 Zip

Date of Birth: 03/26/87 Phone: 646-309-1506 E-Mail Address: Kenggao@gmail.com

The applicant, by signing this application, agrees to or answers in the affirmative to the following statements:

- a. The applicant owns said place of business or has a lease on said place of business for the period for which the license is issued. (If leased, please attach a copy of the lease.)
- b. The applicant will not allow gambling of other illegal activities on the premises.
- c. The applicant has neither been convicted of a felony nor is disqualified to receive a license by reason of any requirement contained in the Liquor Control and Liquor Licensing Ordinance for the City of Galena, Jo Daviess County, Illinois passed and approved in effect on the date of this application or by the laws of the State of Illinois, the United States of America, or any other ordinance of the City of Galena.
- d. Neither the applicant; a corporation of which the applicant is a shareholder, officer, or director; or a partnership of which the applicant belongs has had a liquor license revoked or suspended by any licensing body. If the license has either been revoked or suspended, the applicant shall explain on a separate sheet of paper the circumstances regarding dates and location of said suspension or revocation and attach it to the application as a part thereof.
- e. The applicant will not, during the term of the license, violate any of the laws of the State of Illinois, the United States of America, or any Ordinance of the City of Galena in the conduct of the place of business described above.
- f. The applicant hereby files with this application a Certificate of Insurance by a company authorized to do business in the State of Illinois. The Certificate of Insurance certifies that the applicant has in force and effect the dram shop and other insurance coverage required by the City of Galena and agrees to maintain said insurance for the duration of this licensing period.

The applicant (including the manager in the case of a corporation) states (strike through alternatives that not applicable) and agrees to the following:

- a. The applicant is a resident of the City of Galena.
- b. The applicant is a citizen of the United States. If naturalized: Time \_\_\_\_\_ Place \_\_\_\_\_
- c. With reference to a Partnership Application, all members of said Applicant Partnership are qualified to obtain a license.
- d. With reference to a Corporation Application; no officer, manager director, stock holder, or stockholders owning in the aggregate more than five (5) percent of the stock of the applicant's corporation is disqualified from obtaining a license for any reason other than citizenship and residence within the City of Galena.
- e. The applicant is of good character and reputation in the community.
- f. The applicant has never been convicted of a felony under any Federal or State law.

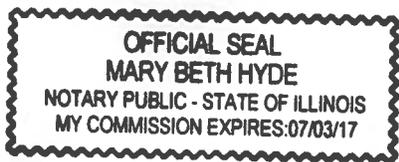
- g. The applicant has never been convicted of being a keeper or is keeping a house of ill fame.
- h. The applicant has never been convicted of pandering, other crimes, or misdemeanors opposed to decency or morality.
- i. The applicant has never had a Liquor License revoked for any cause.
- j. The applicant (or manager in the case of a corporation) has never been refused a liquor license by any liquor control authority.
- k. The applicant has never been convicted of any Federal or State law concerning manufacture, possession, or sale of alcoholic liquor; nor has the applicant ever forfeited bond to appear in court to answer charges for a violation of such Federal or State law.
- l. The applicant is eligible for a State Retail Liquor Dealer's License.
- m. The applicant is neither a Galena law enforcing public official nor does the Mayor or any member of the City Council of the City of Galena have any interest either directly or indirectly in the applicant business. The applicant notes by his/her signature below that he/she has read and understands Chapter 111 (a copy can be obtained from the City Clerk or be viewed at [www.cityofgalena.org](http://www.cityofgalena.org)). Further, it should be noted that there must be enough employees and supervision of personnel involved with the sale of liquor to satisfy the requirements within Chapter 111 of the Galena City Code of Ordinances. Also, the applicant must recognize that the regulations of Chapter 11 that apply to the Licensee and Establishment also apply to any agents of the business involved with the sale of liquor.

Please note: This applicant must be signed in the presence of a Notary.

Printed Name of Applicant: ~~\_\_\_\_\_~~ Keng Gao \_\_\_\_\_

~~\_\_\_\_\_~~ \_\_\_\_\_  
Applicant's Signature Date

Subscribed and sworn to before me this 27th day of May, A.D. 2016.



Mary Beth Hyde  
Notary's Signature Date

\*First time applicants must pay a \$75.00 fee for a background check. Fingerprints must be provided by going to the Jo Daviess County Sheriff's Department to be processed. Background checks are completed by the State of Illinois Police. This process can take up to eight (8) weeks to complete. Once the results of the background checks are received from the State of Illinois Police, the Liquor License Application will be placed on the next available City Council agenda for approval/denial. All fees must be paid prior to being placed on the agenda.

**MINUTES OF THE REGULAR CITY COUNCIL MEETING OF 23 MAY 2016****16C-0202 – CALL TO ORDER**

Mayor Renner called the regular meeting to order at 6:30 p.m. in the Board Chambers at 101 Green Street on 23 May 2016.

**16C-0203 – ROLL CALL**

Upon roll call the following members were present: Bernstein, Fach, Hahn, Kieffer, Lincoln, and Renner

**16C-0204 – ESTABLISHMENT OF QUORUM**

Mayor Renner announced a quorum of Board members present to conduct City business.

**16C-0205– PLEDGE OF ALLEGIANCE**

The Pledge was recited.

**16C-0206 - REPORTS OF STANDING COMMITTEE**

**Unified Destination Marketing Committee** – Lincoln reported the following officers were appointed: Robert Mahan, President; Mark Van Osdol, Vice President; Nikki Peebles, Treasurer; Brigit Radin, Secretary. The next meeting will be Tuesday, May 24<sup>th</sup> at 9:00 a.m. at City Hall. The committee will go over the mission statement, bylaws, contract with the City and County, CEO and final first draft.

**Turner Hall Committeee** – Fach reported Janelle Keeffer has added a calendar of events to the Turner Hall website.

**16C-0207 – PUBLIC COMMENTS**

**Susie Ludwig & Larissa Distler, Galena Public Library, 601 S. Bench Street** – Ludwig advised they are asking for approval of two locations for the installation of “little free libraries”. She advised these libraries promote reading and a sense of community. The libraries will be sponsored by the Friends of the Library group and will be maintained by library staff as well as Friends of the Library. Paul Jackson will install the libraries. Ludwig advised there are already three private libraries throughout town, two on the east side and one on the west side. Once they receive approval they will run a feature story in the Galena Gazette.

**James Wirth, 121 S. High Street** – Wirth spoke on item 16C-0209 with regard to the application for a liquor license for the Felt Manor. Wirth asked the following questions: Do you think it is a good to have the sale and consumption of alcohol less than 100 feet away from a church and preschool? Wirth advised if members feel that would be appropriate they would vote yes and if not you would vote no. As elected officials, aware that you have a duty to protect citizen’s property values, do you think permitting the sale and consumption of alcohol at an overnight commercial transient rental units would be advantageous to the surrounding property values? If you believe so, then you should vote yes. If you believe not, then you should vote no. Has Council thought about the fact that the Felt Manor is the first time the City has approved two separate multi-unit buildings to be commercially rented in a low density single family home neighborhood? Wirth stated we have not yet begun to see how that is going to work out. Wirth reminded Council when the Felt Manor was allowed to operate as a Small Commercial Inn, the owner was given permission to live up to 150 feet from the Felt Manor Property. Under state law, 235 ILS 5/6-16, before being served liquor potential drinkers are to be ID’d and those drinking are to be monitored so that there is no over service. Under this scenario, who would be serving if the

owner of the property were to be living 150 feet from the premises? Would the servers have alcohol awareness training provided by the State of Illinois Liquor Commission and would there be separate servers for each building since there are two separate buildings?

**Janet Checker, 115 S. High St.** – Checker advised she is the immediate neighbor of Dan Balocca. Checker stated Dan has been an excellent neighbor. They have never had any problems with guests or anything. Checker stated she is against having a liquor license next door. This is a home area and this is getting to be too much.

**Rik Pariser, 113 S. High St.** – Pariser was opposed to the liquor license for the Felt Manor. He has been living on this street where there are four B & B's within a number of blocks. The number of rooms outweighs the neighborhood low density residents. It is turning into something much different. The Felt Manor previously operated as a B & B in one building. They have recently been granted the privilege of adding the coach house as an extension and will become a small inn. They went from 4 to 7 to 8 rooms. They are now asking for the privilege of serving liquor. Pariser suggested Council see how this works out before granting another privilege. Pariser stated he is not in favor of the liquor license. The property has stopped being a residential home and has become a "cookie cutter" hotel being operated for profit. Pariser urged the Council to defer this for another year to see how the recent changes are digested.

**Jon Checker - 115 S. High St.** – Checker agreed with the previous statements made. He doesn't see the need to have liquor at this location in the middle of a residential area. If the situation gets out of hand, who do they call? The City Council? The Police Department? Checker believes there will be a problem in the future. It has always been a nice quiet neighborhood. Now there are four homes being used as rental facilities. Checker stated he doesn't see the need. Balocca could operate without the liquor. He believes everything that has been approved in the past would enable him to run a business. Checker stated he doesn't want to see any drinking parties on the patio immediately behind the carriage house. Adding a liquor license provides more opportunity for disturbance. Checker urged the Council to postpone a decision for a year.

**Dan Balocca – 125 S. Prospect** – Balocca advised City Hall contacted him regarding the liquor license. They advised in order to serve wine to his guests he would need a Class M liquor license. He advised he has been there for 23 years and has always had a bottle of wine on the piano for his guests. He can no longer do that without a liquor license. The City created the Class M license for this purpose. This is something he has done and he would just like to continue. He urged the Council to vote yes so his guests can continue to enjoy an occasional glass of wine.

## **PUBLIC HEARINGS**

### **16C-0208 – PUBLIC HEARING ON A REQUEST BY JAMES SULLIVAN AND ALEXANDER PHILLIPS TO AMEND THE ANNEXATION AGREEMENT DATED JANUARY 27, 2010 FOR THE GATEWAY PARK SUBDIVISION (FORMERLY KNOWN AS THE SULLIVAN SUBDIVISION) ON POWDER HOUSE HILL ROAD**

**Motion:** Lincoln moved, seconded by Bernstein, to open the Public Hearing on a request by James Sullivan and Alexander Phillips to amend the annexation agreement dated January 27, 2010 for the Gateway Park Subdivision (formerly known as the Sullivan Subdivision) on Powder House Hill Road.

**Discussion:** None.

**Roll Call:** AYES: Fach, Hahn, Kieffer, Lincoln, Westemeier, Bernstein, Renner  
NAYS: None

The motion carried.

**Testimony: Paul Brashaw** - Brashaw advised he prepared a subdivision plat for the proposed subdivision. It was brought to his attention that the Annexation Agreement provided streets, water and sewer. He advised the sewer is cost prohibitive. The request before the Council is to allow for septic systems on the individual lots. The County has approved that the lots have more than enough space to support a conventional or sand filter system. Brashaw urged the Council to waive the requirement for sanitary sewer.

**Alexander Phillips** – Phillips advised they have had this piece of property for a long time. Careful thought has been put in to what they would like to place on those lots. They would like to keep it eco -friendly and to provide service and financial benefit to the community. Originally the sewer was a part of the plan. Once they had a viable individual come forward, they did the cost analysis and the sewer would be cost prohibitive. They are willing to get the detailed roads and water in place as soon as possible. In order to move forward they need to do septic systems. Phillips noted the Conservation Foundation has a septic system in place to meet the needs of that area. Phillips doesn't anticipate any entity coming on board that would need the requirement of sewer. As it stands now it is highly improbable they would ever meet the requirements for a sewer system. Phillips urged the Council to consider this great project for the city.

**Motion:** Bernstein moved, seconded by Fach, to close the Public Hearing on a request by James Sullivan and Alexander Phillips to amend the annexation agreement dated January 27, 2010 for the Gateway Park Subdivision (formerly known as the Sullivan Subdivision) on Powder House Hill Road.

**Discussion:** None.

**Roll Call:** AYES: Kieffer, Lincoln, Westemeier, Bernstein, Fach, Hahn, Renner  
NAYS: None

The motion carried.

### **LIQUOR COMMISSION**

**Motion:** Kieffer moved, seconded by Hahn, to adjourn as the City Council and reconvene as the Liquor Commission.

**Discussion:** None.

**Roll Call:** AYES: Kieffer, Lincoln, Westemeier, Bernstein, Fach, Hahn, Renner  
NAYS: None

The motion carried.

### **16C-0209 – DISCUSSION AND POSSIBLE ACTION ON A REQUEST FOR A CLASS M LIQUOR LICENSE BY DANIEL BALOCCA, 125 SOUTH PROSPECT STREET, FOR THE INN AT FELT MANOR, DBA FELT MANOR**

**Motion:** Kieffer, moved, seconded by Lincoln, to approve the request for a Class M Liquor License by Daniel Balocca, 125 South Prospect Street, for the Inn at Felt Manor, DBA Felt Manor.

**Discussion:** Mark Moran read the definition of a Class M license.

If a B & B provides wine to their guests or wine baskets they are required to have a Class M License. The Class M License is for wine only. Council questioned if it was within 100 feet from the church. Kieffer stated this isn't like a bar. You must be a guest of the establishment. There hasn't been any problems in the past with alcohol at B & B's. This is a gift that people receive when they check in. It isn't like a bar where people are gathering. Lincoln would like to give it a try for a year and see if it is going to work. While it is a residential neighborhood, the area has a lot of B & B's on the hill. It is a unique situation.

Westemeier advised Class M licenses started when he was Chief of Police. The Class M license was created for this purpose. Westemeier advised the guests can bring their own. He wasn't opposed to approving the license.

Bernstein feels this is a unique situation and it has been pointed out by the people who have come forward that we have granted the Felt Manor some privileges because of the way the coach house is situated on that property. Bernstein feels because of the objections raised the Council should take a look at this in a year's time after the coach house is open and the neighbors have had a chance to see how that works.

Fach respects the neighbor's fears. He agrees it would be prudent to wait a year to see how the neighborhood accommodates to the extra traffic up there. Those booking can bring in their own liquor. This would give the neighbors a chance to see how they are handling their liquor out on the patio.

Hahn stated he would lean on the side of the neighbors. He questioned if they could set up a bar and actually sell across a bar. Moran felt according to the definition they probably could set up a bar for their guests only.

**Roll Call:** AYES: Lincoln, Westemeier, Kieffer  
NAYS: Bernstein, Fach, Hahn, Renner

The motion was denied.

**Motion:** Kieffer moved, seconded by Lincoln, to adjourn as the Liquor Commission and reconvene as the City Council.

**Discussion:** None.

**Roll Call:** AYES: Lincoln, Westemeier, Bernstein, Fach, Hahn, Kieffer, Renner  
NAYS: None

The motion carried.

#### **CONSENT AGENDA CA16-10**

**16C-0210 – APPROVAL OF THE MINUTES OF THE REGULAR CITY COUNCIL MEETING OF MAY 9, 2016**

**16C-0211 – APPROVAL OF TURNER HALL RATE SCHEDULE ADJUSTMENT**

**16C-0212 – APPROVAL OF A REQUEST BY THE GALENA FIRE DEPARTMENT TO PURCHASE HURST EMERGENCY EXTRICATION TOOLS**

**16C-0213 – APPROVAL OF FIRE DEPARTMENT TRAINING FACILITY ROOF AND DRIVEWAY CONTRACTS**

**16C-0214 – APPROVAL OF PURCHASE OF BOOM MOWER**

**Motion:** Kieffer moved, seconded by Hahn, to approve Consent Agenda CA16-10 as presented.

**Discussion:** None.

**Roll Call:** AYES: Westemeier, Bernstein, Fach, Hahn, Kieffer, Lincoln, Renner  
NAYS: None

The motion carried.

**UNFINISHED BUSINESS**

**16C-0182 – APPROVAL OF A PARKING SPACE FOR PERSONS WITH HANDICAPS ON THE EAST SIDE OF MAIN STREET IMMEDIATELY NORTH OF THE INTERSECTION WITH FRANKLIN STREET**

After evaluating the area, Chief Huntington, suggested designating a space for persons with disabilities adjacent to the Gobbie’s outdoor dining area and in the space outside of the Grape Escape nearest Franklin Street. The space adjacent to Gobbie’s has a depressed curb which should facilitate easier access to and from vehicles.

Staff further recommended converting the two loading zone spaces on the west side of North Main Street just north of Diagonal Street to regular parking.

**Motion:** Fach moved, seconded by Hahn, to approve the request for a parking space for persons with handicaps adjacent to Gobbie’s outdoor dining space and in front of the Grape Escape.

**Discussion:** Westemeier stated he was opposed to a handicapped parking stall in front of the Grape Escape as they would be unloading into the street and into the lane of traffic.

**Roll Call:** AYES: Bernstein, Fach, Hahn, Kieffer, Lincoln, Renner  
NAYS: Westemeier

The motion carried.

**NEW BUSINESS**

**16C-0215 – FIRST READING OF AN ORDINANCE TO EXECUTE THE FIRST ADDENDUM TO THE ANNEXATION AGREEMENT FOR THE GATEWAY PARK SUBDIVISION (FORMERLY KNOWN AS THE SULLIVAN SUBDIVISION) ON POWDER HOUSE HILL ROAD**

**Motion:** Fach moved, seconded by Bernstein, postpone item 16C-0215 to the next meeting.

**16C-0216 – DISCUSSION AND POSSIBLE ACTION ON THE FINAL PLAT OF SUBDIVISION FOR THE GATEWAY PARK SUBDIVISION (FORMERLY KNOWN AS THE SULLIVAN SUBDIVISION)**

**Motion:** Fach moved, seconded by Bernstein, to postpone item 16C-0216 to the next meeting.

**16C-0217 – DISCUSSION AND POSSIBLE ACTION ON A REQUEST BY THE GALENA PUBLIC LIBRARY TO INSTALL AND MAINTAIN LITTLE FREE LIBRARIES AT MUCHOW PARK AND RECREATION PARK**

**Motion:** Westemeier moved, seconded by Lincoln, to approve the request by the Galena Public Library to install and maintain little free libraries at Muchow Park and Recreation Park, 16C-0217.

**Discussion:** Council agreed it was a great idea.

**Roll Call:** AYES: Kieffer, Lincoln, Westemeier, Bernstein, Fach, Hahn, Renner  
NAYS: None

The motion carried.

**16C-0218– DISCUSSION AND POSSIBLE ACTION ON A CONTRACT FOR BRIDGE MAINTENANCE DESIGN SERVICES WITH IIW ENGINEERS AND SURVEYORS**

**Motion:** Hahn moved, seconded by Kieffer, to approve the contract for Bridge Maintenance and Design Services with IIW Engineers and Surveyors in an amount not to exceed \$4,000, 16C-0218.

**Discussion:** Hahn noted this has to be done. Both ends are falling apart. Lewis advised a reinforced concrete structure would be the worst case scenario. He would prefer to install aluminum. Because the approach bands are a peculiar shape, they are not sure if the bridge manufacturer would be able to construct them with aluminum.

**Roll Call:** AYES: Lincoln, Westemeier, Bernstein, Fach, Hahn, Kieffer, Renner  
NAYS: None

The motion carried.

**16C-0219 – WARRANTS**

**Motion:** Fach moved, seconded by Hahn, to approve the Warrants as presented, 16C-0219.

**Discussion:** None.

**Roll Call:** AYES: Westemeier, Bernstein, Fach, Hahn, Kieffer, Lincoln, Renner  
NAYS: None

The motion carried.

**16C-0220 – ALDERPERSONS’ COMMENTS**

**Farmers Market** – Bernstein advised the first summer Farmers Market was held on Saturday. The market has changed dramatically and is really dynamic. There were about 15 different vendors with quite a variety of products offered.

**Handicapped Parking** – Westemeier advised he is in favor of the spot by Gobbies; however, people should not be unloaded in the middle of the street. While most people stop there is always a chance one might not. Having someone get out into a lane of traffic is not safe. Kieffer agreed this is a good point.

**Thank you** – Lincoln thanked Alderman Fach for the work he did for the Fire Department Appreciation Dinner. Fach made 25 replicas of the hand pumper.

**Sullivan Subdivision** – Lincoln stated he is disappointed that the Sullivan subdivision didn’t go through tonight. He hopes the City can find out what needs to be done in order to proceed with the project. He would like to see it finished.

**Sullivan Subdivision** – Kieffer wished they could have gone ahead and dealt with this rather than postponing it.

**Sullivan Subdivision** – Fach feels we are at a crossroads with how we view development. We have been given an offer which is the amendment to the PUD. He feels the City should make a

counter offer back. The City holds the cards and these people signed an agreement to put sewer in if they were going to do the development. He is concerned the City would cave into this offer. He feels we could do better on that. The long term benefit for Galena is to have sewer on Powder Hill Road and to that property. The City should be negotiating for it rather than accepting the first offer that comes over the table. This is prime development land. He feels they would not be acting for the benefit of Galena and Galenian's if this offer was accepted.

**16C-0221 – CITY ADMINISTRATOR’S REPORT**

**Bike Trail** – Moran advised IIW had an add-on of \$10,000 on Phase 3 Design of the Bike Trail. After review, it was determined this was largely the result of the train derailment. Moran advised he went to BNSF for reimbursement. BNSF has agreed to pay the \$10,000.

**Galena High School** – Moran advised he emailed a copy of a letter from the Interim Superintendent in regards to the sewer issues at the high school.

**Thank you** – Moran thanked all who participated in the April beautification month.

**16C-0222 – MAYOR’S REPORT**

**Farmers Market** – Mayor Renner complimented the Farmers Market.

**Sullivan Subdivision** – Mayor Renner agrees Fach makes some interesting points.

**16C-0223 - ADJOURNMENT**

**Motion:** Hahn moved, seconded by Kieffer, to adjourn.

**Discussion:** None.

**Roll Call:** AYES: Bernstein, Fach, Hahn, Kieffer, Lincoln, Westemeier, Renner  
NAYS: None

The motion carried.

The meeting adjourned at 7:24 p.m.

Respectfully submitted,



Mary Beth Hyde, MMC  
City Clerk

## MEMORANDUM OF UNDERSTANDING

**WHEREAS**, The City of Galena, Illinois (City) and the Teamsters Local #722, an affiliate of the International Brotherhood of the Teamsters (Union) entered into a labor agreement (Agreement), effective May 1, 2013 to April 30, 2017 , for the Public Works Department; and

**WHEREAS**, the Agreement is intended to provide orderly and efficient collective bargaining relationship between the City and the Union and to make the basic terms upon which the relationship depends; and

**WHEREAS**, Article XXIII, Section 8 of the Agreement states that "The City will provide each employee with uniforms. The type of uniform and supplier of said uniforms will be determined by the City. The City also agrees to pay up to but not to exceed \$175.00 per contract year for incidentals such as boots, etc."; and

**WHEREAS**, the employees of the Union have proposed a cost-saving measure for the City in regard to the uniform policy; and

**WHEREAS**, the current uniform contract that the City has with a private uniform vendor costs approximately \$6,400 per year. Including the current \$175 uniform allowance per Union employee, the total annual uniform cost to the City is approximately \$7,975. The Union proposes to increase the current uniform allowance from \$175 to \$600 per year and discontinue the contract with the private vendor. The cost of the proposed uniform program would be \$5,400 per year. This would result in a savings to the City of approximately 2,575 per year; and

**WHEREAS**, the Union employees propose to purchase their uniform clothing outside of work hours and be reimbursed from the uniform allowance budget set aside by the City; and

**WHEREAS**, on June 13, 2016, the Galena City Council agreed to accept the proposal from the Union employees to establish a uniform allowance of \$600 per year per Union employee; and

**WHEREAS**, the Union employees and the City agree to the Public Works Uniform Policy attached hereto and made a part hereof as Exhibit A, effective July 1, 2016; and

**NOW THEREFORE BE IT RESOLVED** by the City and the Union that this Memorandum of Understanding truly and accurately represents the mutual promises, covenants and agreements of the parties.

## PUBLIC WORKS UNIFORM POLICY

1. It is the policy of the City of Galena to provide Department of Public Works Union Employees with a uniform allowance of six hundred dollars (\$600.00) per fiscal year to purchase work clothing and clothing accessories necessary for the performance of their duties.
2. The purpose of this policy shall be to maximize safe working conditions, reflect good appearance and to provide ease of recognition, and/or identification of Public Works employees by the public.
3. The clothing allowance provided to the employee by the City may be used to purchase the following clothing and clothing accessories: shirts, jeans or other work pants or shorts, rainwear, jackets, coats, gloves, hats, caps, socks, thermal under garments, steel-toed footwear, boots, and safety glasses.
4. Employees shall not be relieved of any duty to wear appropriate uniforms by virtue of loss of, damage to, or destruction of any item of the uniform. Replacement uniform clothing and clothing accessories are the responsibility of the employee.
5. Shorts are generally allowed unless the work dictates long pants for the safety of the employee.
6. The uniform and all related accessories may not be used for recreation or off duty purposes. Employees shall be granted use and privileges associated with commuting to and from work in the uniform.
7. Clothing should not be torn, worn, frayed, or visibly patched. Clothing should fit properly.
8. Clothing items must not display any image or text that is inappropriate or distracts from the professional image of the City. Clothing shall not include advertisements or brands other than labels that are incidental to the article of clothing. The City of Galena logo will be available to employees for embroidery and screen printing on their uniforms.
9. The uniform and all other related accessories are to be kept well maintained. The Director of Public Works may determine when a piece of clothing does not meet the maintenance standard or does not otherwise comply with this policy.

Policy adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2016

**Mark Moran**

---

**From:** cfg@crossfitgalena.com  
**Sent:** Friday, June 03, 2016 12:31 PM  
**To:** Mark Moran  
**Subject:** Special Olympics Fundraiser, July 9, 2016

Mark,

I would like to get approval for a fundraiser we (CrossFit Galena) are hosting on July 9, 2016. We have reserved the depot parking lot for that date with your office and have paid the \$25.00 fee on 06-02-2016. The fundraiser will go from 8:00 a.m. until approximately 1:00 p.m., but realistically, we will also need to arrive at the depot parking lot around 6:00 a.m. - 6:30 a.m. for set-up and will probably be there until 2:00 p.m.- 2:30 p.m. finishing the clean-up.

The fundraiser supports Area 1 Special Olympics (Northwest region). This fundraiser, entitled "Row Raiser" was started by CrossFit Games athlete Sam Dancer and his wife Jen. The Special Olympics has 18 "Areas" within the State of Illinois. We are in Area 1, which serves nine counties, and have been lucky enough to have been invited by Sam and Jen to participate in this fundraiser. Because participation in the Special Olympic events is free to the Special Olympic athletes, the money we raise will go towards paying for their events, meals, lodging, fuel, etc. We are the only CrossFit affiliate in our area who was asked to participate, so we definitely want to make this a successful event for the Special Olympics. The Row Raiser event will have 8 teams of 10 athletes (\$50 per person/ \$500 per team) and the teams will be rowing a marathon (42,165 meters). According to those who have done this before, this should take anywhere from 3 to 4 hours. We will have prizes for 1st, 2nd, and 3rd place, Most Team Spirit, and Most Money Raised. All of our prizes were donated from local businesses as we wanted to also promote Galena and the close surrounding businesses.

We are also planning to have the farmer's market at this event and have spoken with some vendors about having booths. Some of those vendors would include CrossFit Galena (selling apparel), and Back to Health (selling smoothies/drinks). Other vendors may be there to promote their businesses, but will not be charging for their services or items. An example of this would be that we have a couple of massage therapists that wanted to bring their chairs over and do quick 5-10 minute massages on the athletes to promote their business, but not charge for those services. According to our conversation, it doesn't appear that they would need to apply for a permit, but that CrossFit Galena and Back to Health would. If that is inaccurate, please let me know.

Thank you for considering our request for the permit for our fundraiser. If you have any more questions, please don't hesitate to call, 815-238-7038.

Thank you,

Craig Ketelsen



311 N. Bench Street, Galena, IL 61036-1809

**Chief of Police**

Lori Huntington

(815) 777-2131

FAX (815) 777-4736

TO: Chief Lori Huntington

FROM: Lt. Bill Salzmann

RE: New squad car

DATE: 5/24/16

After going through the pricing of a replacement squad car, a Ram 1500 truck, a Dodge Durango, and a Ford Explorer, the Galena City Council approved the purchase of a new vehicle. During our discussions we felt that we should stay with a Dodge Durango (SUV). When it came time to order the Durango, I found out that we couldn't get the vehicle with the shifter on the steering column or the dash, they only came with the shifter in the center console and along with that there was also a traction control switch located next to the shifter.

In speaking with Ryan from Buss Boyz, the company that installs all the lights and electronics, he said that with all the equipment we need install, it becomes a real nightmare with where the shifter is. He also stated that he has worked on other police department's Dodge Durango's and that the Durango's have had numerous issues and they were not built for everyday patrol purposes. He said they make a good administrative vehicle, but not patrol vehicle. He suggested I call the Belvidere Police Department, IL.

I took the liberty and did call the Belvidere PD and spoke to the Deputy Chief. He said they do have two Durangos and they are in the shop more than they are on the road. He said that they will NOT buy any more of them for everyday patrol.

I then contacted Currie Motors from Forrest Park, IL. They are a Ford dealer and they handle the IL State Contract for the Ford Explorer Police Interceptor SUV. They have 2 black Ford Explorer Police Interceptor SUV's, but no white ones. I was told that they will not be getting anymore 2016 models in and that if we want one, we will need to order a 2017. I was told that they will probably start building the 2017's in the middle of June and if we ordered one now, it probably won't arrive until around the first of August. The 2017 price will be the same as the 2016 price of \$25,555.00.

I also contacted Pioneer Ford out of Platteville, WI, to give them an opportunity at getting us a Ford Explorer Police Interceptor SUV with the Illinois specs to try and buy locally. I am still waiting to hear back from them. That person will be out of town until May 27.

I feel we need to act on ordering one as soon as possible when Pioneer Ford gets back to me with their prices.

I did speak to Alex Wilson, Sales Manager with Galena Chrysler, and told him of the situation. He understood there was a problem. I did ask Wilson if we did buy a Ford, if they would still service it with oil changes and minor repairs. He said they would, but any warranty work would have to be done by a Ford dealer, which is understandable. We would have to decide if we would take it to a Ford dealer in Dubuque, Platteville, Darlington, Mt. Carroll, or Freeport.

# CITY OF GALENA, ILLINOIS

101 Green Street, Galena, Illinois 61036



## MEMORANDUM

TO: Honorable Mayor Renner and City Council

FROM: Mark Moran, City Administrator 

DATE: June 8, 2016

RE: Police Department Porch Repair and Painting

Our staff has obtained quotes for the repair and painting of the Bench Street porch on the police department building. This project was delayed one season and is the final planned project of the building renovation. The work includes repairing damaged areas of the porch, replacing all of the second level ceiling, installing new downspouts, installing a new rubber roof, and a complete painting of all surfaces. Quotes were requested from three contractors for the repairs and three contractors for the painting. The low quote for the repairs was \$3,300 was from White Construction, Inc. The low quote for the painting was \$1,800 from Welu Painting. A summary of quotes is shown in Table 1 and 2 below.

Table 1. Police Department Porch Repair

Contractor	Cost
White Construction, Inc.	\$3,300
Josh Ries Construction, Inc.	\$5,460
Artisan Contractors	No bid

Table 2. Police Department Porch Painting

Contractor	Cost
Welu Painting	\$1,800
Joe Beyer Painting	\$2,800
Mark Petche Painting	No bid

Our current budget includes \$7,000 for building maintenance (01.21.511.00) in anticipation of these expenses. The budget is sufficient to cover the total project cost of \$5,100.

Thank you for your consideration. Please let me know if you have any questions. Thank you.

# CITY OF GALENA, ILLINOIS

101 Green Street, Galena, Illinois 61036



## MEMORANDUM

TO: Honorable Mayor Renner and City Council

FROM: Mark Moran, City Administrator 

DATE: May 18, 2016

RE: Gateway Park Subdivision Annexation Agreement

The owners of the Gateway Park Subdivision on Power House Hill Road, Jim Sullivan and Alexander Phillips, have proposed an amendment to the annexation agreement that would permit the use of septic systems under certain conditions. The owners are also requesting the approval of the final plat of subdivision for the 33-acre property.

Under the current annexation agreement, the owners are required to connect any buildings constructed in the subdivision to public sewer. The public sewer is currently at the bottom of Powder House Hill Road, about 2,000 feet from the subdivision. With the proposed amendment, the owners would be permitted to utilize private septic systems under the following conditions:

1. If public sewer is not within 300 feet of the subdivision
2. If any building to be served by a septic system will generate less than 1,500 gallons per day of sewage
3. If a permit for a septic system is approved by the Jo Daviess County Department of Environmental Health

Under the proposed amendment, any building that is connected to a private septic system would be required to connect to the public sewer within one year of the time the public sewer is within 300 feet of the subdivision.

My understanding is that the owners are prepared to comply with all other aspects of the annexation agreement, including the installation water system connected to the City of Galena water supply and a new roadway with curb and gutter, sidewalks, street lighting. A final plat of subdivision has been submitted with designs for the new roadway, water distribution system and other required engineering details. Please refer to the memorandum from Matt Oldenburg regarding the final plat.

Conceivably, the ordinance authorizing the execution of the amendment to the annexation agreement and the final plat could be approved at the meeting. This would allow the development of the subdivision to move forward, subject to applicable codes and ordinances.

**FIRST  
ADDENDUM TO  
ANNEXATION  
AGREEMENT**

This First Addendum to Annexation Agreement is made to Annexation Agreement (the "Agreement") dated January 27, 2010 and recorded by the Jo Daviess County Recorder, State of Illinois, on May 31, 2011, as Document No. 363027, between the City of Galena, a municipal corporation of Jo Daviess County, Illinois (the "City") and Joe Borsdorf, James Sullivan, Alexander Phillips, James Richards, Jo Ann Richards, or their grantees, heirs, successors or assigns (the "Owners").

**WITNESSETH:**

**WHEREAS**, the Owners are the developers of a 33-acre subdivision (the "Subdivision") at the intersection of US Route 20 and Power House Hill Road in Galena.

**WHEREAS**, the Owners have requested changes to the Agreement to permit the use of private septic sewer systems instead of connections to the public sanitary sewer system under certain circumstances; and

**WHEREAS**, the public sanitary sewer system is located approximately 700 feet from the nearest point of the Subdivision; and

**WHEREAS**, the Galena Subdivision Ordinance authorizes the possibility of using private septic sewer systems where public sewer is not available. Section 153.42 (D) (3) of the Galena Subdivision Ordinance states, “Alternative water and sewer systems may be allowed with Zoning Administrator, City Engineer, City Sewer and Water Superintendent and County Health Officer approval in areas where a public sewer is not available.”

**WHEREAS**, a public hearing was conducted on May 23, 2016 giving the public and the Galena City Council the opportunity to review and comment on the proposed First Addendum to the Agreement;

**WHEREAS**, the City Council subsequently voted on the \_\_\_ day of \_\_\_\_\_, 2016, by a vote of \_\_ to \_\_, to approve changes to the Agreement.

**NOW, THEREFORE**, in consideration of the mutual promises and agreements between the parties, the sufficiency of which is hereby acknowledged, the parties agree as follows:

1. Section 6.1 of Article VI, “Sanitary Sewer Service”, shall be amended as follows:

“6.1 The City represents and warrants that it owns, operates and maintains a sanitary sewage collection, treatment and disposal system within its borders, but not contiguous to or abutting the Property. All buildings on the property that are required by building code to have sanitary sewer facilities shall be connected to the public sewer system ~~or and shall not~~ be permitted to utilize private septic treatment ~~or other alternative treatment or containment systems.~~ **Private septic treatment systems shall only be permitted if the nearest public sewer main is more than 300 feet from the Subdivision and the average daily sewer use for any building to be served**

**by the private septic treatment system is less than 1,500 gallons per day. The Illinois General Assembly's Illinois Administrative Code, Title 77, Chapter I: Department of Public Health, Subchapter r: Water and Sewage, Part 905: Private Sewage Disposal Code, attached hereto as Exhibit A, shall be used as the standard for estimating the average daily sewer flow of any proposed building in the Subdivision. A permit for the installation and operation of any private septic treatment system shall also be approved by the Jo Daviess County Department of Environmental Health. Each septic system shall be maintained at all times in accordance with the approved design specifications and any septic waste pumped from any septic system shall be treated at a municipal wastewater treatment facility and not land applied. Any building connected to a private septic treatment system shall connect to the public sewer system within one year from the time the public sewer system is within 300 feet of the subdivision. The construction necessary to connect to the public sewer system and the cost of construction and to connect shall be borne by the Owners or the owner of any building required to connect.**

**Prior to connecting any building in the Subdivision to the public sewer system,** Owners shall provide, at the sole cost and expense of the Owners, a study by a professional engineer, approved by the City prior to the commencement of work to perform the study, which clearly demonstrates the capacity of the existing sanitary system to serve the expected needs of Owners, including all necessary lift stations and back-up power supplies. Said study shall also identify and design requirements for the installation of all connecting mains, etc. to the existing City sewer system and any required system of mains within the Property for a fully functioning system to serve the sanitation sewer needs of the Property as developed. Any necessary upgrades of the system identified by said engineering study, including any

infrastructure to be located outside of the Property, and including but not limited to, pipes, valves, lift stations, pumps, treatment facilities, SCADA, etc., shall be completed at the sole cost and expense of Owners prior to the City authorizing the Owners to connect to the system. Prior to the issuance of any construction or other permits related to any development of the Property, an Illinois Environmental Protection Agency permit must be obtained at the sole cost and expense of the Owners. The City does not warrant, guarantee or agree that the sanitary sewer system owned and operated by the City has sufficient capacity or functionality to serve the Property or any development thereof. Furthermore, the City shall not reserve any sewerage capacity for the Property until such time that the City issues construction permits for the construction of the sanitary sewer system for the Property in accordance with this paragraph.”

2. Joe Borsdorf, Jim Richards, and Jo Ann Richards shall be deleted from the signature page as they no longer have a legal interest in the property.
3. With the exception of the above amendments, the Agreement shall remain the same and shall be in full force and effect.
4. The updated Agreement, including the changes listed herein, is attached hereto and made part hereof as Exhibit B.

IN WITNESS WHEREOF, the parties hereto have executed this Addendum on this \_\_\_\_\_ day of \_\_\_\_\_, 2016 and, by so executing, each of the parties warrants that it possesses full right and authority to enter into this Addendum.

CITY OF GALENA, an Illinois  
municipal corporation

By: \_\_\_\_\_  
Its Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

OWNERS,

By: \_\_\_\_\_  
James Sullivan

By: \_\_\_\_\_  
Alexander Phillips

Prepared by and Return To:  
Joseph Nack, City Attorney  
City of Galena  
101 Green Street, PO Box 310  
Galena, IL 61036

**Joint Committee on Administrative Rules**  
**ADMINISTRATIVE CODE**

TITLE 77: PUBLIC HEALTH  
 CHAPTER I: DEPARTMENT OF PUBLIC HEALTH  
 SUBCHAPTER r: WATER AND SEWAGE  
 PART 905 PRIVATE SEWAGE DISPOSAL CODE  
 SECTION 905.APPENDIX A ILLUSTRATIONS AND EXHIBITS

**Section 905.APPENDIX A Illustrations and Exhibits**

**Section 905.ILLUSTRATION A Quantity of Sewage Flows**

TYPE OF ESTABLISHMENT	Unit (per)	Gallons Per Day
<b>Permanent Residential Dwellings</b>		
Single Family	bedroom	200
Multi-Family	bedroom	200
Individual Mobile Homes	bedroom	200
Mobile Home Parks	space	400
Boarding Houses	person	50
Rooming House	resident	40
<b>Institutions</b>		
Hospitals, Medical	bed	250
Hospitals, Medical	employee	15
Hospitals, Mental	bed	150
Hospitals, Mental	employee	15
Long-Term Care Institutions	bed	125
Long-Term Care Institutions	employee	15
Prison	inmate	150
Prison	employee	15
<b>Schools</b>		
Boarding School	person	150
Schools Without Cafeteria or Showers	person	15
Schools W/Cafeteria & Showers	person	25
Schools W/Cafeteria or Showers	person	20

## Travel

Airports	passenger	5
Railway Stations	passenger	5
Bus Stations	passenger	5
Highway Rest Areas	traveler	5

## Recreational &amp; Seasonal Areas

Campgrounds W/Mobile Homes	site	150
Swimming Pools & Bathing Beaches	person	10
Comfort Sta. W/Toilets & Showers	space	35
Comfort Sta. W/O Showers	space	25
Day Camps W/O Meals	person	25
Day Camps W/Meals	person	35
RV Parks W/Water and Sewer Hook-Ups	space	50
Cottages and/or Small Dwellings W/Seasonal Occupancy	bedroom	150
Picnic Parks W/Toilet Facilities Only	person	10
Youth Camps W/O Cafeteria	person	50
Youth Camps W/Cafeteria	person	60
Migrant Labor Camps	person	150
Sanitary Dump Station for Unsewered Site	site	20
Campground W/Central Bath and Toilet Facilities	person	35

## Commercial, Industrial &amp; Misc.

Country Clubs, No Kitchen	member	25
Hotels & Motels	bed	50
Places for Public Assembly	person	5
Theaters	seat	5
Churches W/O Kitchen	seat	3
Churches W/Kitchen	seat	6
Restaurants	meal	10
Restaurants W/Bar & Cocktail	meal	12
Offices & Day Workers	person	15
Shopping Centers	(per 1000) sq. ft. of floor area)	250
Stores	toilet	400
Service Stations (served)	vehicle	10
Laundries	customer	50
Construction Camps or Sites, Factories W/Toilets & Showers	person	35
Factories w/Toilets, No Showers	person	20

**MEMORANDUM**

TO: Honorable Mayor Renner, City Council and City Administrator

FROM: Matt Oldenburg, Zoning Administrator

*MATT*

DATE: May 18, 2016

RE: Cal. No. 16SUB-01, Applicant and Owners: James Sullivan and Alex Phillips, 9146 U.S. Route 20 West, Galena, IL 61036. Location: Parcel: 06-500-163-15, a tract of land located in parts of the Northeast, Northwest and Southeast Quarters of Section 21, Township 28 North, Range 1 East of the Fourth Principal Meridian, East Galena Township, Jo Daviess County, Illinois. Common Address: 9146 U.S. Route 20 West, Galena, IL 61036. Request to subdivide approximately 33.71 acres into 6 Lots.

Summary:

This property was approved as a preliminary plan for a Planned Unit Development (PUD) district with an underlying zoning district of Planned Commercial in 2010. Around the same time, an annexation agreement was executed and later, in 2013, the tract of land was annexed into the City of Galena. Although the PUD plan was approved and each proposed lot / pod of development was identified, the actual subdivision of the property into these lots was never executed. In February 2016, the preliminary plat was approved by Council and the applicants have subsequently submitted engineering plans and a plat that comply with the applicable review criteria for subdivision requests.

The applicants are proposing to subdivide the tract of land, comprised of approximately 33.71 acres, into six (6) lots. The applicants request approval of the Final Plat for the subdivision to be known as "Gateway Park Subdivision". The proposed subdivision consists of Lot 1, containing 6.93 acres situated to the East; Lot 2, containing 2.65 acres situated to the East of the platted cul-de-sac; Lot 3, containing 1.75 acres situated to the West of the platted cul-de-sac; Lot 4, containing 2.74 acres situated on the Northwest part of the cul-de-sac; Lot 5, containing 11.64 acres situated to the North; and Lot 6, containing 5.63 acres situated to the Northwest. A cul-de-sac is planned for public right-of-way and extends into the central part of the subdivision approximately 430 feet to provide access and utility to four of the six lots.

Staff Comments:

Staff Comments on the preliminary plat are included below:

- Proposed plat and plans meet the requirements of the Subdivision Ordinance pending approval of the annexation agreement amendment request to allow septic systems for commercial uses with less than 1500 gallons per day as an alternative to installation of sanitary sewer system extension. The County Health Department has provided an endorsement of non-residential use with an average daily flow of less than 1500 gallons.
- All future development on individual lots must demonstrate adequate on-site storm water detention facilities or sustainable best management practices for storm water in their respective site plans.
- Cul-de-sac meets minimum engineering design requirements per the Subdivision Ordinance. Adequate storm water detention has been demonstrated to accommodate runoff from the impervious area of the cul-de-sac. Staff will ensure street construction, water main, street lighting

- and sidewalks meet the standards before the City accepts responsibility for maintenance and care of the right-of-way.
- All proposed lots meet the minimum intensity and bulk standards required in the Planned Commercial / PUD district based on exhibits presented during the PUD request.
  - Future development on all lots shall require appropriate zoning and building review and permitting before any construction commences.

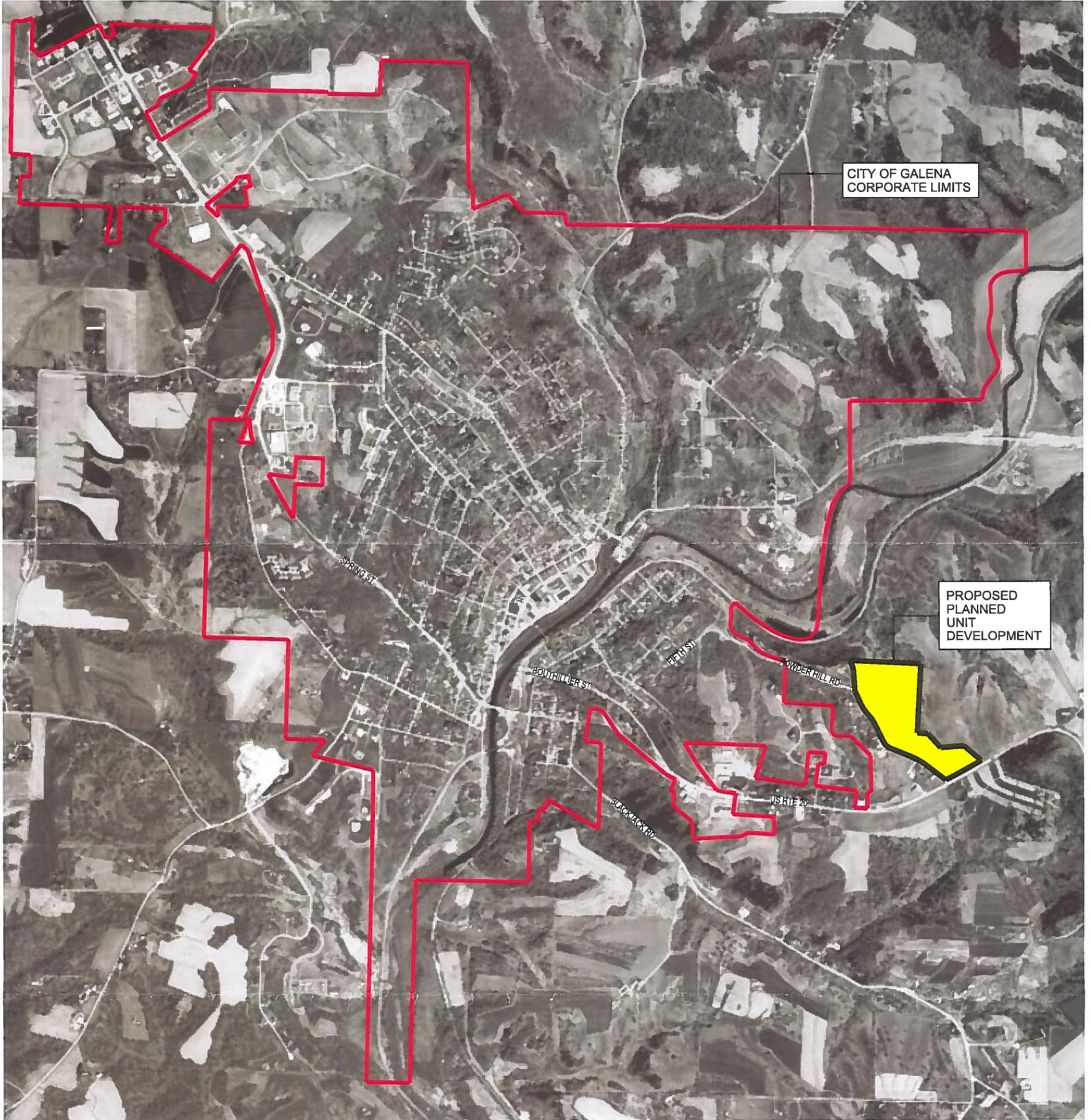
ZBA Recommendation:

No zoning action was needed for this request; instead, City Council will hold discussion and take possible action for the final subdivision approval.

Staff Recommendation:

Based on Staff review of this request with respect to the Zoning Ordinance and the Subdivision Ordinance, Staff does recommend to the City Council approval of the final plan and plat.

# EXHIBIT 1 LOCATION MAP



**MSA**

PROFESSIONAL SERVICES  
TRANSPORTATION • MUNICIPAL  
DEVELOPMENT • ENVIRONMENTAL

FINAL PLAT OF SUBDIVISION FOR LOTS 1 THROUGH 6 OF "GATEWAY PARK SUBDIVISION"

A TRACT OF LAND LOCATED IN PARTS OF THE NORTHEAST, NORTHWEST AND SOUTHEAST QUARTERS OF SECTION 21, TOWNSHIP 28 NORTH, RANGE 1 EAST OF THE FOURTH PRINCIPAL MERIDIAN, EAST GALENA TOWNSHIP, JO DAVIESS COUNTY, ILLINOIS, THE BOUNDARY OF SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 28 NORTH, RANGE 1 EAST OF THE FOURTH PRINCIPAL MERIDIAN; THENCE SOUTH 01 DEGREES 22 MINUTES 34 SECONDS EAST, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 21, A DISTANCE OF 288.69 FEET; THENCE NORTH 89 DEGREES 43 MINUTES 16 SECONDS WEST, 819.75 FEET; THENCE SOUTH 88 DEGREES 41 MINUTES 58 SECONDS WEST, 1,720.35 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF THE ILLINOIS CENTRAL RAILROAD; THENCE CONTINUING SOUTHWESTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG A CIRCULAR CURVE CONCAVE TO THE WEST, AN ARC DISTANCE OF 694.05 FEET TO THE NORTHEAST CORNER OF A PARCEL OF LAND AS SHOWN ON THE PLAT OF SURVEY RECORDED IN PLAN HOLD "C" OF PLATS, PAGE 145, IN THE OFFICE OF THE JO DAVIESS COUNTY RECORDER; SAID CURVE HAVING A RADIUS OF 1,066.00 FEET, A CENTRAL ANGLE OF 37 DEGREES 18 MINUTES 14 SECONDS, AND WHOSE LONG CHORD BEARS SOUTH 38 DEGREES 44 MINUTES 26 SECONDS WEST, 681.85 FEET FROM THE LAST DESCRIBED COURSE; THENCE SOUTH 16 DEGREES 13 MINUTES 42 SECONDS EAST, ALONG THE EASTERLY LINE OF SAID PARCEL, A DISTANCE OF 419.15 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 87 DEGREES 00 MINUTES 06 SECONDS EAST, 1,063.83 FEET; THENCE SOUTH 02 DEGREES 59 MINUTES 54 SECONDS WEST, 1,058.65 FEET; THENCE SOUTH 84 DEGREES 56 MINUTES 14 SECONDS EAST, 160.29 FEET; THENCE SOUTH 43 DEGREES 03 MINUTES 03 SECONDS EAST, 287.43 FEET; THENCE NORTH 85 DEGREES 12 MINUTES 12 SECONDS EAST, 348.33 FEET; THENCE SOUTH 49 DEGREES 47 MINUTES 07 SECONDS EAST, 344.25 FEET TO A FOUND IRON ROD ON THE NORTHERLY RIGHT-OF-WAY LINE OF THE PROPERTY CONVEYED TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION, BY WARRANTY DEED RECORDED AS DOCUMENT NO. 235020, IN THE OFFICE OF THE JO DAVIESS COUNTY RECORDER;

THENCE SOUTH 55 DEGREES 13 MINUTES 51 SECONDS WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 52.19 FEET TO A FOUND IRON ROD; THENCE SOUTH 60 DEGREES 44 MINUTES 58 SECONDS WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 200.93 FEET TO A FOUND IRON ROD; THENCE CONTINUING SOUTHWESTERLY ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, ALONG A CIRCULAR CURVE CONCAVE TO THE SOUTH, AN ARC DISTANCE OF 333.99 FEET; SAID CURVE HAVING A RADIUS OF 11,521.96 FEET, A CENTRAL ANGLE OF 01 DEGREES 39 MINUTES 39 SECONDS, AND WHOSE LONG CHORD BEARS SOUTH 61 DEGREES 34 MINUTES 48 SECONDS WEST, 333.98 FEET FROM THE LAST DESCRIBED COURSE; THENCE SOUTH 61 DEGREES 34 MINUTES 48 SECONDS WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 26.11 FEET TO A POINT IN THE CENTERLINE OF POWDER HOUSE HILL ROAD; THENCE NORTH 52 DEGREES 42 MINUTES 01 SECONDS WEST, ALONG SAID CENTERLINE, A DISTANCE OF 380.33 FEET TO A POINT OF CURVE; THENCE CONTINUING NORTHWESTERLY ALONG SAID CENTERLINE, ALONG A CIRCULAR CURVE CONCAVE TO THE SOUTH, AN ARC DISTANCE OF 225.74 FEET TO A POINT OF TANGENT; SAID CURVE HAVING A RADIUS OF 885.00 FEET, A CENTRAL ANGLE OF 14 DEGREES 36 MINUTES 52 SECONDS, AND WHOSE LONG CHORD BEARS NORTH 60 DEGREES 00 MINUTES 27 SECONDS WEST, 225.13 FEET FROM THE LAST DESCRIBED COURSE; THENCE NORTH 67 DEGREES 18 MINUTES 53 SECONDS WEST, ALONG SAID CENTERLINE, A DISTANCE OF 370.80 FEET TO A POINT OF CURVE; THENCE CONTINUING NORTHWESTERLY ALONG SAID CENTERLINE, ALONG A CIRCULAR CURVE CONCAVE TO THE NORTH, AN ARC DISTANCE OF 146.97 FEET TO A POINT OF TANGENT; SAID CURVE HAVING A RADIUS OF 203.00 FEET, A CENTRAL ANGLE OF 41 DEGREES 28 MINUTES 56 SECONDS, AND WHOSE LONG CHORD BEARS NORTH 46 DEGREES 34 MINUTES 25 SECONDS WEST, 143.78 FEET FROM THE LAST DESCRIBED COURSE; THENCE NORTH 25 DEGREES 49 MINUTES 57 SECONDS WEST, ALONG SAID CENTERLINE, A DISTANCE OF 316.90 FEET TO A POINT OF CURVE; THENCE CONTINUING NORTHWESTERLY ALONG SAID CENTERLINE, ALONG A CIRCULAR CURVE CONCAVE TO THE SOUTH, AN ARC DISTANCE OF 116.95 FEET TO A POINT OF TANGENT; SAID CURVE HAVING A RADIUS OF 440.00 FEET, A CENTRAL ANGLE OF 15 DEGREES 13 MINUTES 42 SECONDS, AND WHOSE LONG CHORD BEARS NORTH 33 DEGREES 26 MINUTES 48 SECONDS WEST, 116.60 FEET FROM THE LAST DESCRIBED COURSE; THENCE NORTH 41 DEGREES 03 MINUTES 39 SECONDS WEST, ALONG SAID CENTERLINE, A DISTANCE OF 81.15 FEET TO A POINT OF CURVE; THENCE CONTINUING NORTHWESTERLY ALONG SAID CENTERLINE, ALONG A CIRCULAR CURVE CONCAVE TO THE NORTH, AN ARC DISTANCE OF 160.76 FEET TO A POINT OF TANGENT; SAID CURVE HAVING A RADIUS OF 540.00 FEET, A CENTRAL ANGLE OF 17 DEGREES 03 MINUTES 26 SECONDS, AND WHOSE LONG CHORD BEARS NORTH 32 DEGREES 31 MINUTES 56 SECONDS WEST, 160.17 FEET FROM THE LAST DESCRIBED COURSE; THENCE NORTH 24 DEGREES 00 MINUTES 11 SECONDS WEST, ALONG SAID CENTERLINE, A DISTANCE OF 167.95 FEET TO A POINT OF CURVE; THENCE CONTINUING NORTHWESTERLY ALONG SAID CENTERLINE, ALONG A CIRCULAR CURVE CONCAVE TO THE SOUTH, AN ARC DISTANCE OF 39.44 FEET TO A POINT WHICH IS THE SOUTHERLY EXTENSION OF THE EAST LINE OF A PARCEL OF LAND AS RECORDED IN PLAN HOLD "C" OF PLATS, PAGE 145, IN THE OFFICE OF THE JO DAVIESS COUNTY RECORDER; SAID CURVE HAVING A RADIUS OF 180.00 FEET, A CENTRAL ANGLE OF 12 DEGREES 33 MINUTES 14 SECONDS, AND WHOSE LONG CHORD BEARS NORTH 30 DEGREES 16 MINUTES 51 SECONDS WEST, 39.36 FEET FROM THE LAST DESCRIBED COURSE; THENCE NORTH 04 DEGREES 12 MINUTES 04 SECONDS WEST, ALONG SAID EXTENDED LINE AND THE EAST LINE OF SAID PARCEL, A DISTANCE OF 347.01 FEET TO A FOUND IRON ROD; THENCE NORTH 16 DEGREES 13 MINUTES 42 SECONDS WEST, ALONG THE EAST LINE OF SAID PARCEL, A DISTANCE OF 137.82 FEET TO THE POINT OF BEGINNING, SAID TRACT CONTAINING 33.71 ACRES, MORE OR LESS, SUBJECT TO ANY AND ALL RECORDED EASEMENTS AND RIGHT-OF-WAYS, ALL BEING SITUATED IN EAST GALENA TOWNSHIP, JO DAVIESS COUNTY, ILLINOIS.

NOTE: FOR THE PURPOSES OF THIS SURVEY, THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 21, IS ASSUMED TO BEAR SOUTH 01 DEGREES 22 MINUTES 34 SECONDS EAST.

NOTE: EACH LOT IS SUBJECT TO A 10.00 FOOT UTILITY EASEMENT ALONG ALL SIDES OF THE INDIVIDUAL LOT AND A 30.00 FOOT BUILDING SETBACK LINE ALONG THE FRONTAGE OF EACH LOT AND 20.00 FOOT SIDE BUILDING SETBACK LINE

Legend

- 0.00' Measured Distance/Bearing
(0.00') Platted/Deeded Distance/Bearing
Boundary of the Property Surveyed
Existing Fence Line
5/8" x 36" Iron Rod Set
Iron Rod/Pipe Found
RR Spike
PK Nail

LOCATION MAP SECTION 21 EAST GALENA TOWNSHIP JO DAVIESS COUNTY, ILLINOIS

RIGHT-OF-WAY CURVE DATA R - 1066.00 ARC - 694.05' CHORD - 681.85' S.38°44'26"W. Δ - 37°18'14"

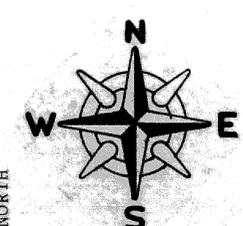
SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS COUNTY OF JO DAVIESS } SS I, PAUL C. BRASHAW, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, NO. 35-2567, DO HEREBY CERTIFY THAT I HAVE FOUND AND/OR SET THE SURVEY MONUMENTS, ALL AS SHOWN ON THE ACCOMPANYING PLAT OF SURVEY. I FURTHER CERTIFY THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY TO THE BEST OF MY KNOWLEDGE AND BELIEF. DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF, UNLESS OTHERWISE SPECIFIED. THE COURSES AND DISTANCES OF THE SURVEY MAY VARY FROM THE RECORDED CALLS, BASED ON THE EXISTENCE OF FOUND MONUMENTATION, OCCUPATION, OR OTHER CONTROLLING CALLS OF CONDITIONS THAT HAVE OCCURRED IN THE PERFORMANCE OF THE PROPERTY SURVEYED.

I FURTHER CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF ILLINOIS.

SIGNED AND SEALED THIS 11ST DAY OF JANUARY, 2016.

Paul C. Brashaw PAUL C. BRASHAW ILLINOIS PROFESSIONAL LAND SURVEYOR, NO. 35-2567 MY LICENSE RENEWAL DATE IS NOVEMBER 30, 2016



PLAT OF SURVEY AS RECORDED IN PLAN HOLD NO. 235020 IN THE OFFICE OF THE JO DAVIESS COUNTY RECORDER

CENTERLINE OF POWDER HOUSE HILL ROAD

Centerline Curve Data R - 180.00' Arc - 39.44' Chord - 39.36' N.30°16'51"W. Δ - 12°33'14"

Centerline Curve Data R - 540.00' Arc - 160.76' Chord - 160.17' N.32°31'56"W. Δ - 17°03'26"

Centerline Curve Data R - 440.00' Arc - 116.95' Chord - 116.60' N.33°26'48"W. Δ - 15°13'42"

SURVEYED FOR JAMES SULLIVAN JIM SULLIVAN REALTY 11875 U.S. ROUTE NO. 20 EAST STOCKTON, ILLINOIS 61085 TELEPHONE (815) 947-9040 (OFFICE) (815) 266-8302 (CELL)

ALEX PHILLIPS 1138 N. FRANKLIN AVENUE RIVER FOREST, ILLINOIS 60305 TELEPHONE (708) 484-0011 (OFFICE) (708) 488-1238 (HOME) (708) 609-4000 (CELL)

Table with 4 columns: No., Radius, Arc, Angle, Chord, Bearing. Lists curve data for 10 different points along the boundary.

TOTAL AREA OF SUBDIVISION 33.71 ACRES

Centerline Curve Data R - 885.00' Arc - 225.74' Chord - 225.13' N.60°00'27"W. Δ - 14°36'52"

DATE: JANUARY 7, 2016 CHANGED LOTS 1 & 2 SHEET 1 OF 1

Paul C. Brashaw 4413 W. Stagecoach Tr. Galena Illinois 61036 Telephone (815) 777-1172

EXISTING 66.00' WIDE EASEMENT FOR INGRESS AND EGRESS

REVISD 1-11-2016

CHANGED LOTS 1 & 2

CITY OF GALENA GATEWAY PARK PROPERTY

Right of Way Curve Data R - 11,521.96' Arc - 333.99' Chord - 333.98' S.61°34'48"W. Δ - 01°39'39"

CENTERLINE OF U.S. HIGHWAY ROUTE NO. 20

# STREET AND DRAINAGE DESIGN FOR

## WILD INDIGO LANE

# GATEWAY PARK SUBDIVISION

- ALL CONSTRUCTION SHALL CONFORM TO "IDOT STANDARD SPECS. FOR ROAD AND BRIDGE CONSTRUCTION" - CURRENT ADDITION.
- WHEN DETENTION PONDS ARE COMPLETED, AN AS-BUILT LETTER CONFIRMING CAPACITIES SHALL BE SUBMITTED TO THE CITY.
- SINCE WILD INDIGO LANE LIES IN A HIGH AREA, INDIVIDUAL LOTS WILL NOT BE ABLE TO DRAIN TO THE DETENTION AREA. EACH LOT SHOULD HAVE INDIVIDUAL STORM WATER CONTROL.
- ALL EXISTING PAVEMENT ON POWDER HOUSE HILL ROAD WHICH IS DISTURBED BY THIS PROJECT WILL BE REPLACED IN KIND PER DIRECTION FROM THE CITY OF GALENA.
- SIDEWALK LOCATIONS ARE TO BE PLACED AS SHOWN IN ACCORDANCE WITH "CITY OF GALENA SPECS. FOR CONCRETE WALKS AND DRIVEWAYS."

CITY OF GALENA  
101 GREEN STREET  
GALENA, ILLINOIS 61036

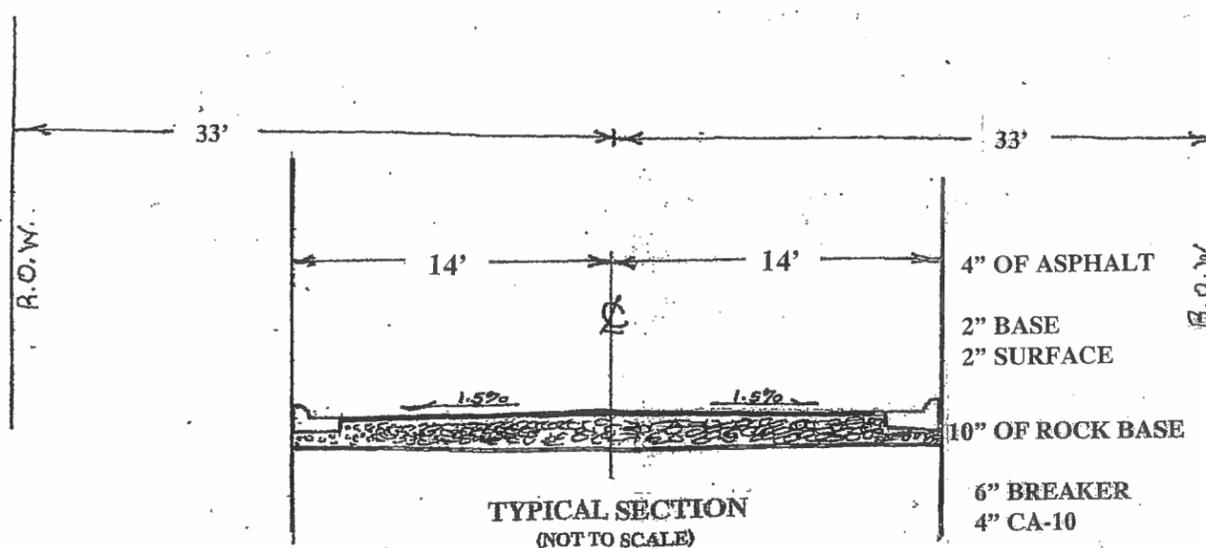
### PREPARED BY:

PAUL BRASHAW P.L.S.  
4413 WEST STAGECOACH TRAIL  
GALENA, ILLINOIS 61036

TOM GOLDEN P.E.  
904 CAMPBELL STREET  
GALENA, ILLINOIS 61036

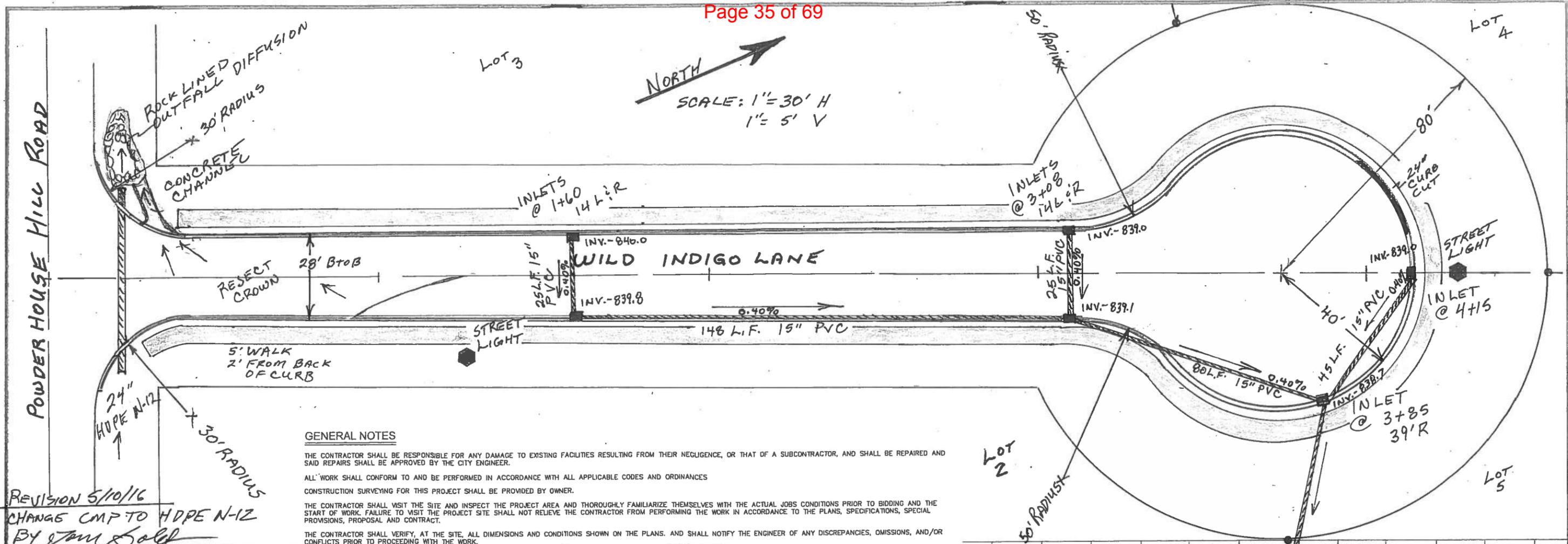
### SHEET INDEX:

1. COVER SHEET
2. PLAN AND PROFILE
3. TYPICAL DETAILS
4. STORM RUNOFF CALCULATIONS AND DETAILS



REVISION 5/10/16  
- CORRECT SPELLING IN COMMENTS  
- CHANGE 3" ASPHALT TO 4"  
BY: Tom Golden

NORTH  
SCALE: 1" = 30' H  
1" = 5' V



**GENERAL NOTES**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING FROM THEIR NEGLIGENCE, OR THAT OF A SUBCONTRACTOR, AND SHALL BE REPAIRED AND SAID REPAIRS SHALL BE APPROVED BY THE CITY ENGINEER.

ALL WORK SHALL CONFORM TO AND BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES

CONSTRUCTION SURVEYING FOR THIS PROJECT SHALL BE PROVIDED BY OWNER.

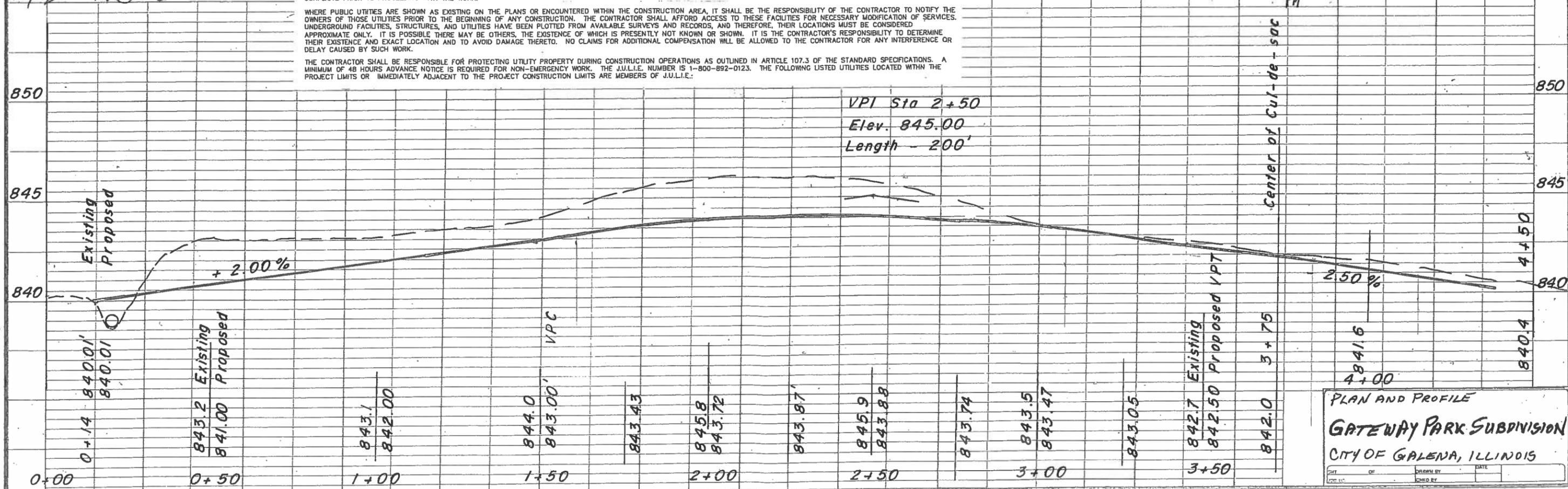
THE CONTRACTOR SHALL VISIT THE SITE AND INSPECT THE PROJECT AREA AND THOROUGHLY FAMILIARIZE THEMSELVES WITH THE ACTUAL JOBS CONDITIONS PRIOR TO BIDDING AND THE START OF WORK. FAILURE TO VISIT THE PROJECT SITE SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING THE WORK IN ACCORDANCE TO THE PLANS, SPECIFICATIONS, SPECIAL PROVISIONS, PROPOSAL AND CONTRACT.

THE CONTRACTOR SHALL VERIFY, AT THE SITE, ALL DIMENSIONS AND CONDITIONS SHOWN ON THE PLANS. AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS PRIOR TO PROCEEDING WITH THE WORK.

WHERE PUBLIC UTILITIES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

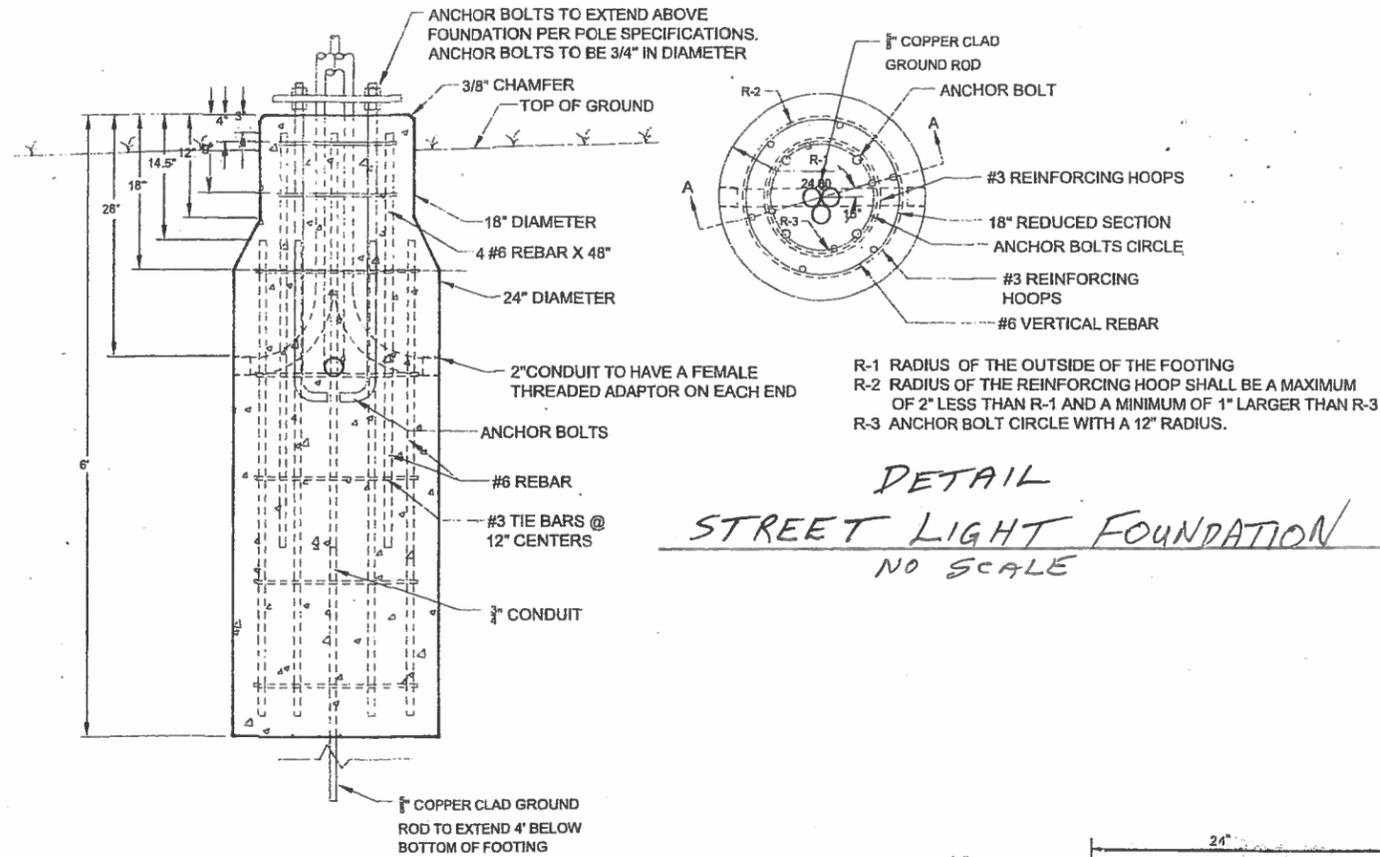
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITY PROPERTY DURING CONSTRUCTION OPERATIONS AS OUTLINED IN ARTICLE 107.3 OF THE STANDARD SPECIFICATIONS. A MINIMUM OF 48 HOURS ADVANCE NOTICE IS REQUIRED FOR NON-EMERGENCY WORK. THE J.U.L.I.E. NUMBER IS 1-800-892-0123. THE FOLLOWING LISTED UTILITIES LOCATED WITHIN THE PROJECT LIMITS OR IMMEDIATELY ADJACENT TO THE PROJECT CONSTRUCTION LIMITS ARE MEMBERS OF J.U.L.I.E.:

REVISION 5/10/16  
CHANGE CMP TO HDPE N-12  
By *Tom Gold*

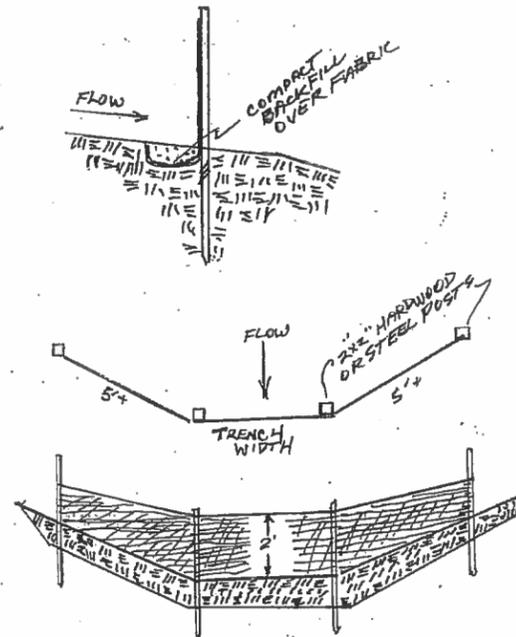


PLAN AND PROFILE  
GATEWAY PARK SUBDIVISION  
CITY OF GALENA, ILLINOIS

DATE OF DESIGN BY DATE  
DATE OF CHECK BY

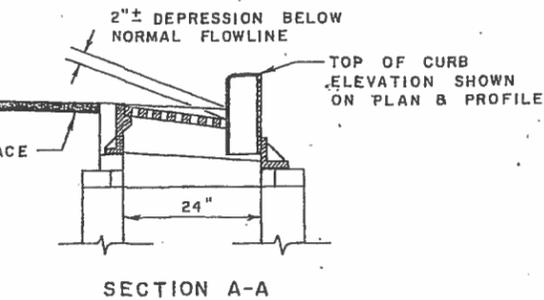
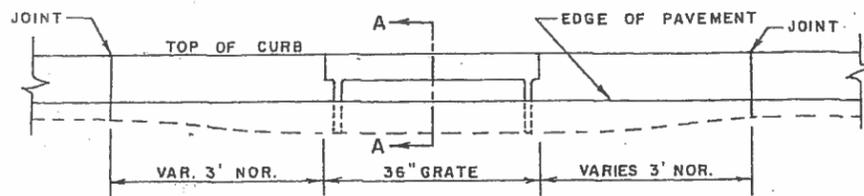


DETAIL  
STREET LIGHT FOUNDATION  
NO SCALE

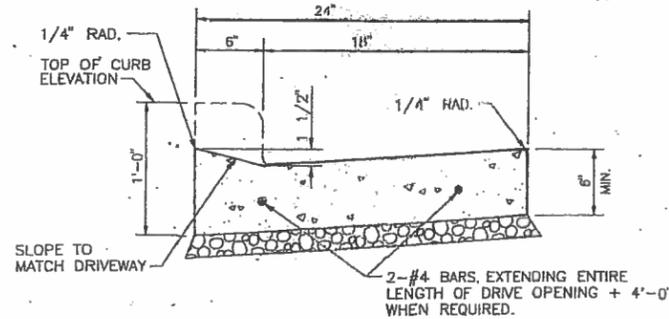


GEOTEXTILE FABRIC W/  
3/4" MESH NYLON SUPPORT  
NETTING & TOP SUPPORT  
CORD - 100# MIN. GRAB STRENGTH  
200 PSI BURST, 20-50 OPENING  
UV RADIATION STABILITY - 90%

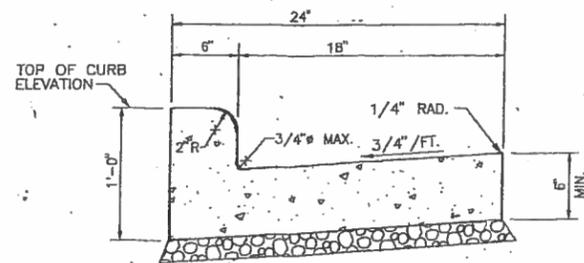
SILT FENCE DETAILS  
INSTALL AROUND PERIMETER  
OF EXCAVATED AREA



TYPICAL DETAIL  
CURB AND GUTTER AT INLETS



DRIVEWAY CURB AND GUTTER DETAIL



STANDARD CURB AND GUTTER DETAIL

TYPICAL DETAILS  
GATEWAY PARK SUBDIVISION  
CITY OF GALENT, ILLINOIS

**STORM WATER CONTROL & DETENTION POND SIZING:**

Wild Indigo Lane is situated at a high point of the proposed development. No extraneous flows are expected on the road surface. Therefore, the proposed detention pond is to serve the road only. Each parcel shall have its own storm water detention area based on the individual site plan.

**WILD INDIGO LANE STORM CALCULATIONS:**

Area of cul-de-sac =  $3.14 \times 40' \times 40'$   
 = 5024 sq. ft.

Area of linear road surface =  $280' \times 28'$   
 = 7840 sq. ft.

Transition - road/cul-de-sac = 525 sq. ft.

Transition - road/Powderhouse Hill Rd. = 1080 sq. ft.

TOTAL PAVED AREA = 14469 sq. ft.  
 = 0.33 acre

FLOW UNDER PREDEVELOPED CONDITIONS:  $Q = cia$

$Q = 0.20 \times 3.1 \text{ in./hr} \times 0.33 \text{ ac.}$   
 = 0.21 cfs

FLOW UNDER DEVELOPED CONDITIONS:  $Q = cia$

$Q = 0.9 \times 3.1 \text{ in./hr.} \times 0.33 \text{ ac.}$   
 = 0.92 cfs

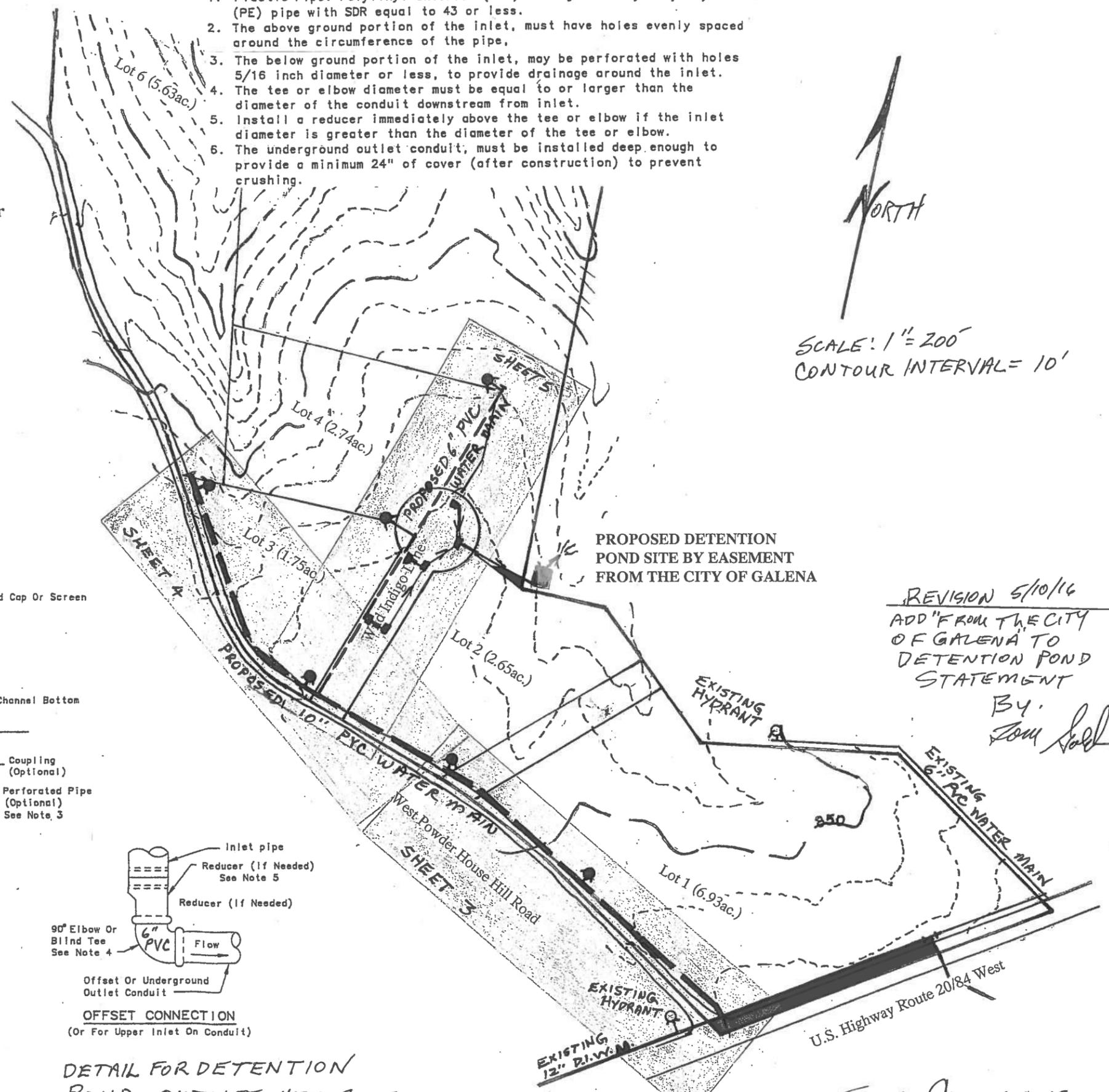
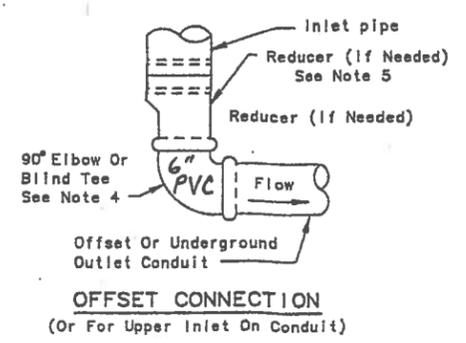
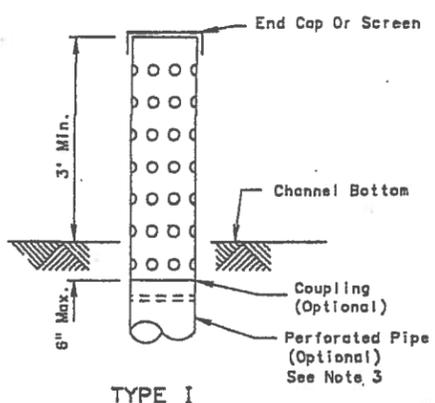
The difference is  $0.92 - 0.21 = \underline{0.71 \text{ cfs}}$

The pond is sized to hold a 3.1" rainfall over a 1 hour duration, releasing at the rate seen in the predeveloped condition. Therefore:  $0.71 \text{ cfs} \times 60 \text{ sec./min.} \times 60 \text{ min./hr.} =$

2556 cubic feet storage capacity which is equivalent to a pond size of 30' x 30' x 3'.

**NOTES:**

1. Plastic Pipe: Polyvinyl Chloride (PVC) or High Density Polyethylene (PE) pipe with SDR equal to 43 or less.
2. The above ground portion of the inlet, must have holes evenly spaced around the circumference of the pipe.
3. The below ground portion of the inlet, may be perforated with holes 5/16 inch diameter or less, to provide drainage around the inlet.
4. The tee or elbow diameter must be equal to or larger than the diameter of the conduit downstream from inlet.
5. Install a reducer immediately above the tee or elbow if the inlet diameter is greater than the diameter of the tee or elbow.
6. The underground outlet conduit, must be installed deep enough to provide a minimum 24" of cover (after construction) to prevent crushing.



REVISION 5/10/16  
 ADD "FROM THE CITY OF GALENA TO DETENTION POND STATEMENT  
 BY: Tom Sell

DETAIL FOR DETENTION POND OUTLET - NOT TO SCALE

SHEET INDEX

- 1 - TITLE SHEET
- 2 - EXISTING CONDITIONS AND IMPROVEMENTS
- 3,4,5 - PLAN AND PROFILE
- 6 - CITY OF GALENA SPECIFICATIONS
- 7 - TYPICAL DETAILS

# WATER MAIN TO SERVE THE GATEWAY PARK SUBDIVISION

**CITY OF GALENA, IL.**  
IN THE EAST 1/2 OF SEC. 21 - T28N, R1E  
EAST GALENA TWP., JO DAVIESS COUNTY



UTILITIES

**GAS**  
NICOR: 888-642-6748

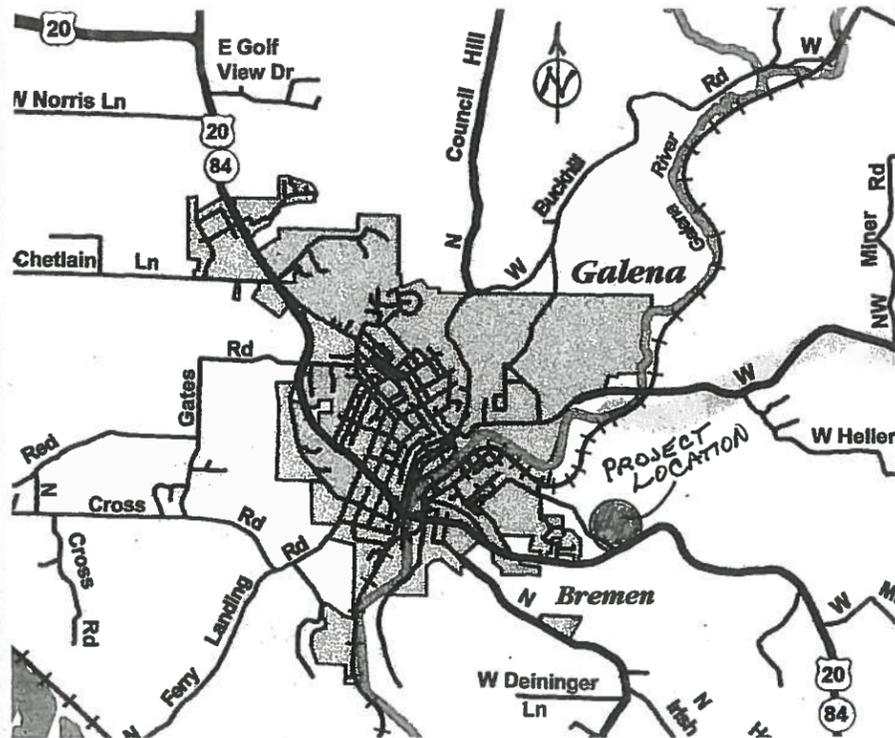
**ELECTRIC**  
JO CARROLL ELECTRIC: 815-858-2207

**TELEPHONE**  
AT&T: 8800-660-3000

**SEWER & WATER**  
CITY OF GALENA: 815-777-1050

**CABLE TV**  
MEDIACOM: 800-332-0245

1 DNR # 1608981



LOCATION MAP - NOT TO SCALE

To obtain location of underground facilities,  
call J.U.L.I.E. at 1-800-892-0123 before digging.

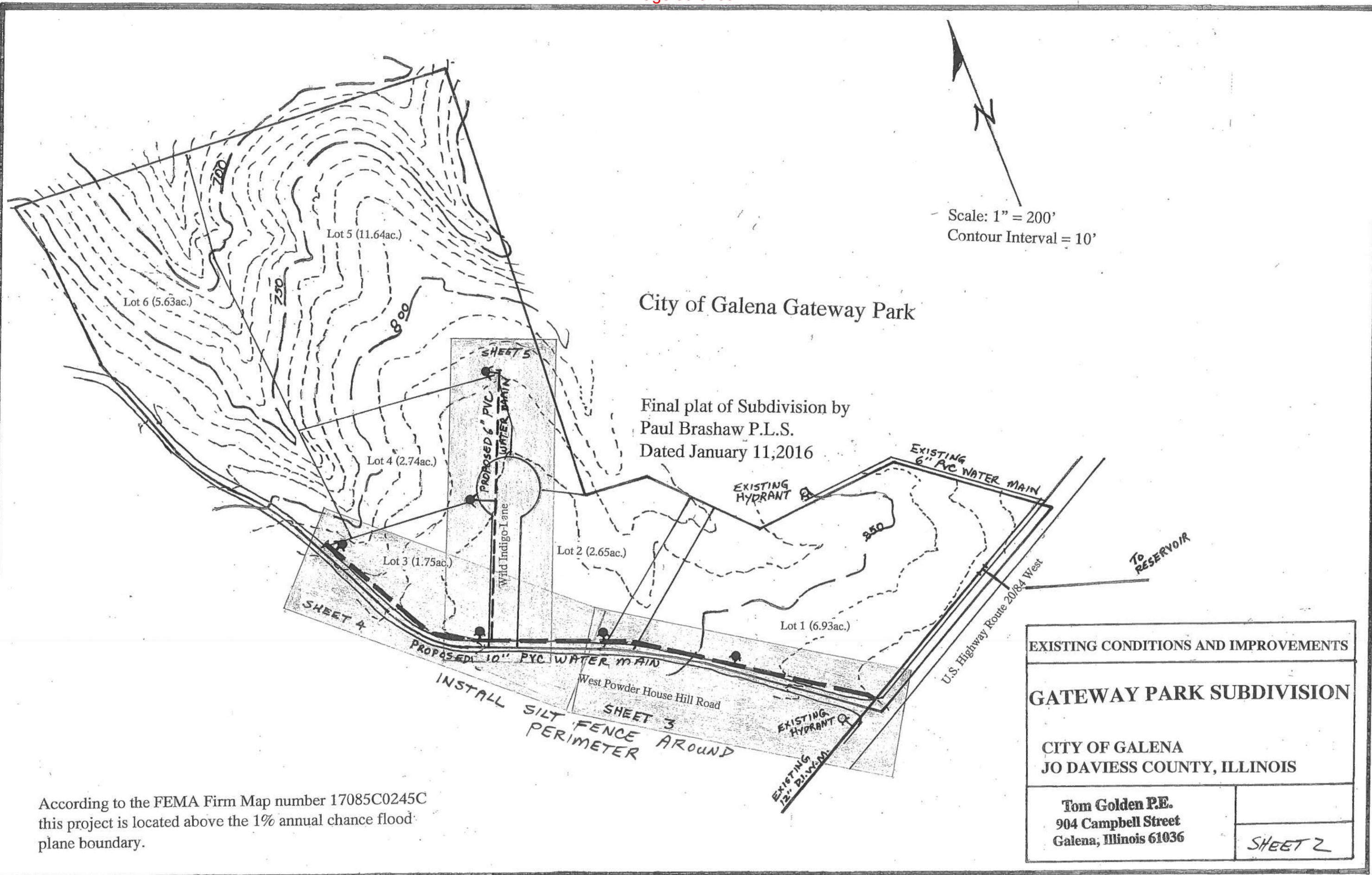
Illinois statute requires a minimum of 3 work days  
notice before digging.

Existing utility locations shown on these plans are  
approximate and must be verified prior to digging.



*Thomas W. Golden*  
4/7/16  
License Renewal  
DATE: 11/30/17

TITLE SHEET	
<b>GATEWAY PARK SUBDIVISION</b> <i>9146 U.S. 20 WEST.</i> CITY OF GALENA JO DAVIESS COUNTY, ILLINOIS	
<b>Tom Golden P.E.</b> 904 Campbell Street Galena, Illinois 61036	<i>SHEET 1</i>

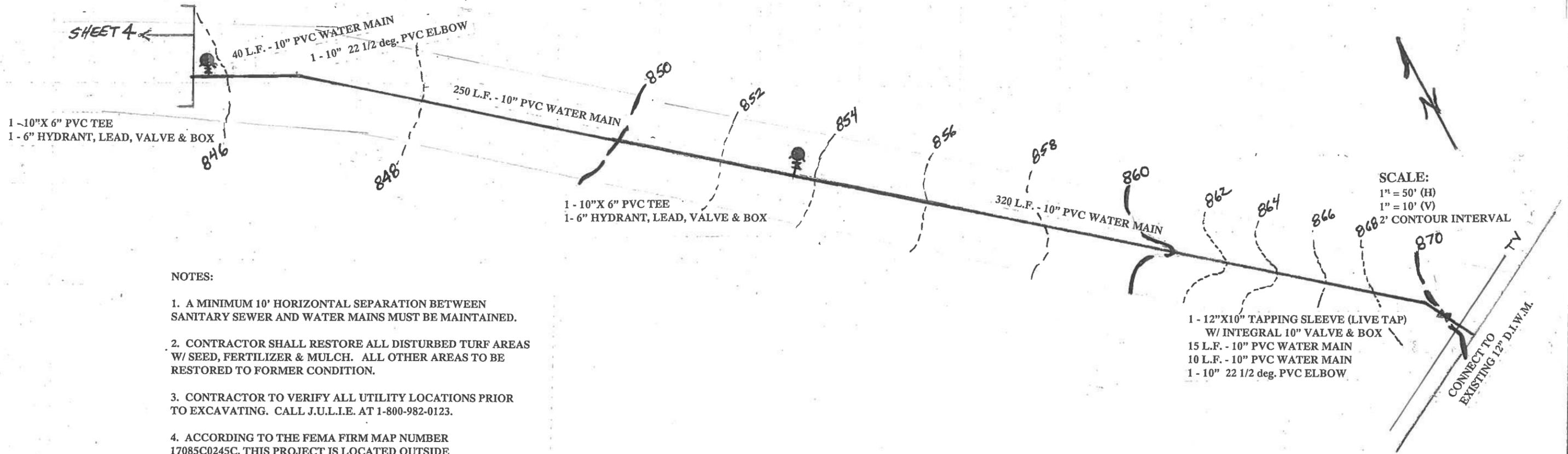


### City of Galena Gateway Park

Final plat of Subdivision by  
Paul Brashaw P.L.S.  
Dated January 11, 2016

EXISTING CONDITIONS AND IMPROVEMENTS	
<b>GATEWAY PARK SUBDIVISION</b>	
CITY OF GALENA JO DAVIESS COUNTY, ILLINOIS	
Tom Golden P.E. 904 Campbell Street Galena, Illinois 61036	SHEET 2

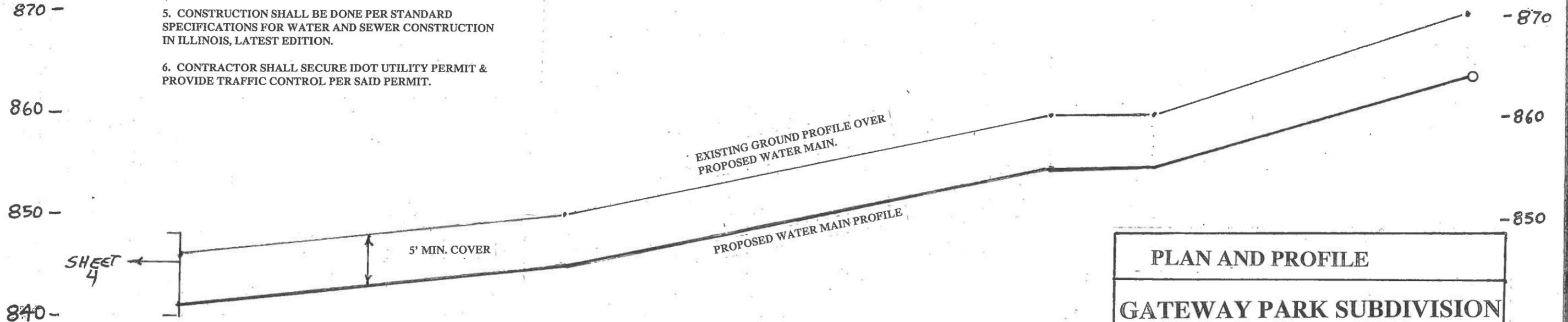
According to the FEMA Firm Map number 17085C0245C this project is located above the 1% annual chance flood plane boundary.



SCALE:  
 1" = 50' (H)  
 1" = 10' (V)  
 2' CONTOUR INTERVAL

NOTES:

1. A MINIMUM 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS MUST BE MAINTAINED.
2. CONTRACTOR SHALL RESTORE ALL DISTURBED TURF AREAS W/ SEED, FERTILIZER & MULCH. ALL OTHER AREAS TO BE RESTORED TO FORMER CONDITION.
3. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO EXCAVATING. CALL J.U.L.I.E. AT 1-800-982-0123.
4. ACCORDING TO THE FEMA FIRM MAP NUMBER 17085C0245C, THIS PROJECT IS LOCATED OUTSIDE OF THE 1% ANNUAL CHANCE FLOODPLAIN BOUNDARY.
5. CONSTRUCTION SHALL BE DONE PER STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, LATEST EDITION.
6. CONTRACTOR SHALL SECURE IDOT UTILITY PERMIT & PROVIDE TRAFFIC CONTROL PER SAID PERMIT.



<b>PLAN AND PROFILE</b>	
<b>GATEWAY PARK SUBDIVISION</b>	
CITY OF GALENA JO DAVIESS COUNTY, ILLINOIS	
Tom Golden P.E. 904 Campbell Street Galena, Illinois 61036	<b>SHEET 3</b>

NOTES:

1. A MINIMUM 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS MUST BE MAINTAINED.
2. CONTRACTOR SHALL RESTORE ALL DISTURBED TURF AREAS W/ SEED, FERTILIZER & MULCH. ALL OTHER AREAS TO BE RESTORED TO FORMER CONDITION.
3. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO EXCAVATING. CALL J.U.L.I.E. AT 1-800-982-0123.
4. ACCORDING TO THE FEMA FIRM MAP NUMBER 17085C0245C, THIS PROJECT IS LOCATED OUTSIDE OF THE 1% ANNUAL CHANCE FLOODPLAIN BOUNDARY.
5. CONSTRUCTION SHALL BE DONE PER STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, LATEST EDITION.
6. CONTRACTOR SHALL SECURE IDOT UTILITY PERMIT & PROVIDE TRAFFIC CONTROL PER SAID PERMIT.

SCALE:  
 1" = 50' (H)  
 1" = 10' (V)  
 2' CONTOUR INTERVAL

END OF 10" WATER MAIN

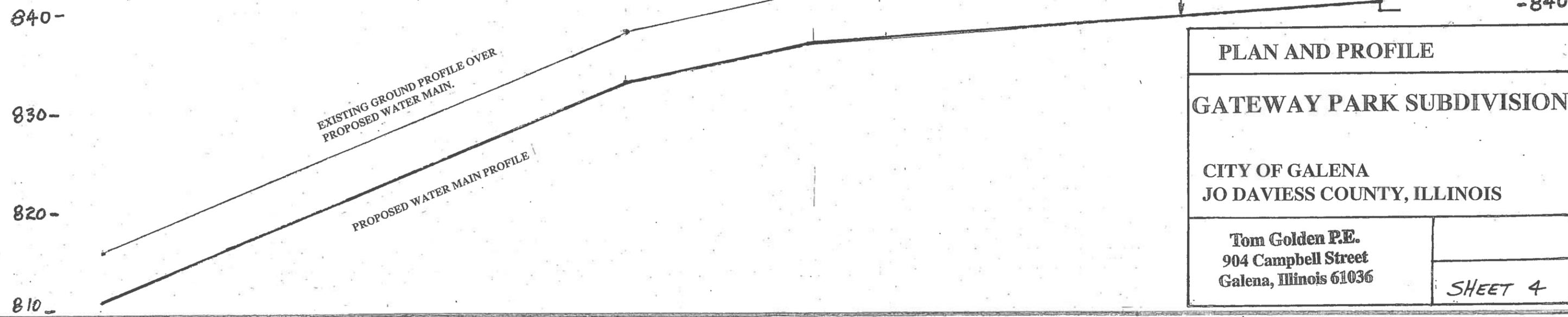
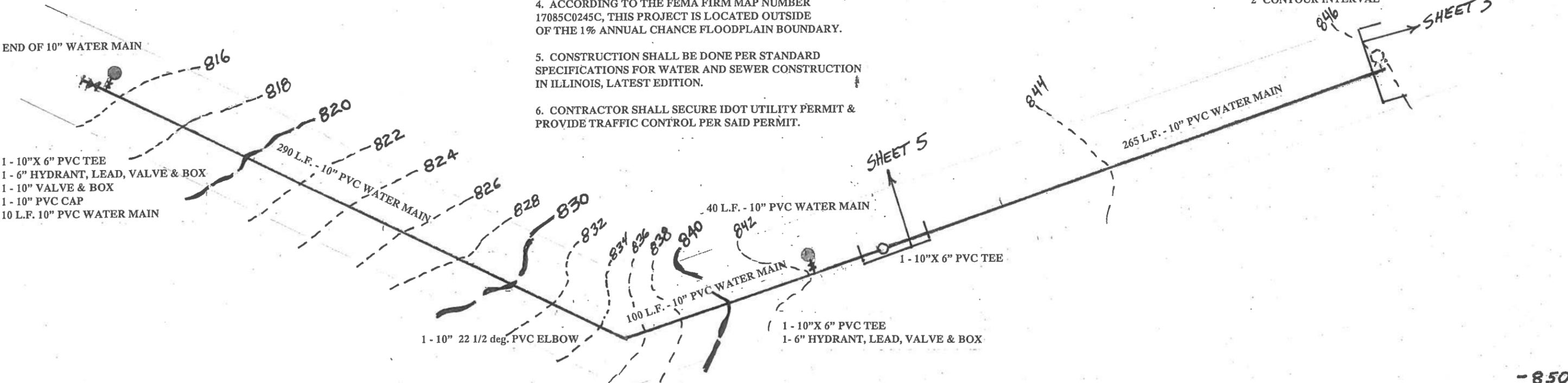
- 1 - 10"X 6" PVC TEE
- 1 - 6" HYDRANT, LEAD, VALVE & BOX
- 1 - 10" VALVE & BOX
- 1 - 10" PVC CAP
- 10 L.F. 10" PVC WATER MAIN

1 - 10" 22 1/2 deg. PVC ELBOW

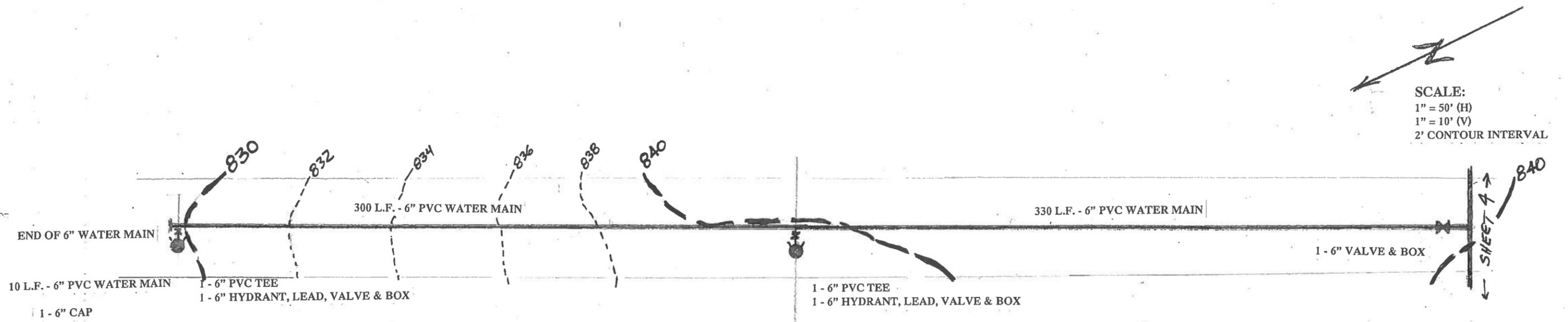
40 L.F. - 10" PVC WATER MAIN

- 1 - 10"X 6" PVC TEE
- 1 - 6" HYDRANT, LEAD, VALVE & BOX

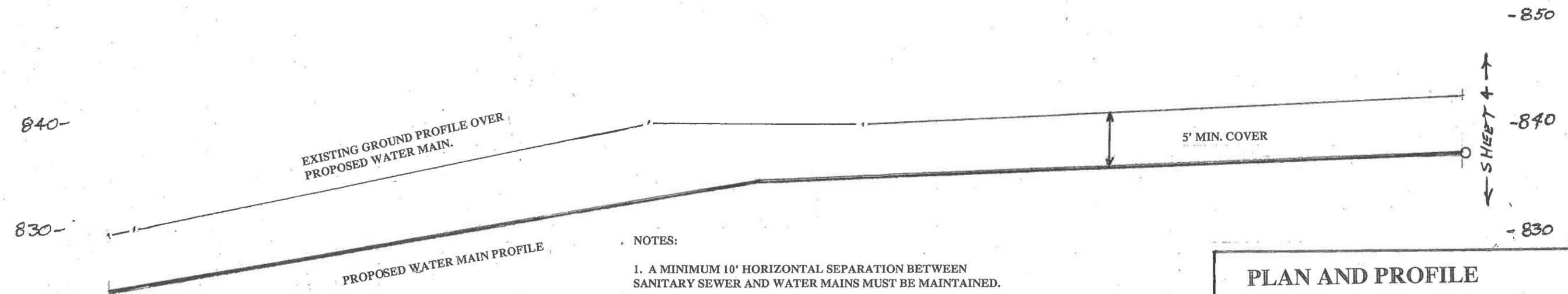
265 L.F. - 10" PVC WATER MAIN



<b>PLAN AND PROFILE</b>	
<b>GATEWAY PARK SUBDIVISION</b>	
CITY OF GALENA JO DAVIESS COUNTY, ILLINOIS	
Tom Golden P.E. 904 Campbell Street Galena, Illinois 61036	<b>SHEET 4</b>



SCALE:  
 1" = 50' (H)  
 1" = 10' (V)  
 2' CONTOUR INTERVAL



- NOTES:
1. A MINIMUM 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS MUST BE MAINTAINED.
  2. CONTRACTOR SHALL RESTORE ALL DISTURBED TURF AREAS W/ SEED, FERTILIZER & MULCH. ALL OTHER AREAS TO BE RESTORED TO FORMER CONDITION.
  3. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO EXCAVATING. CALL J.U.L.I.E. AT 1-800-982-0123.
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<b>PLAN AND PROFILE</b>	
<b>GATEWAY PARK SUBDIVISION</b>	
CITY OF GALENA JO DAVIESS COUNTY, ILLINOIS	
Tom Golden P.E. 904 Campbell Street Galena, Illinois 61036	SHEET 5

**WATERMAIN**

**Section 40 — Pipe for Water Mains and Service Connections**

Water Distribution Pipe: Water main shall be 10 inch PVC per AWWA C909, DR 18, Class 150. Hydrant leads shall be 6 inch DIP only, per AWWA C151, Class 350 or thicker; or alternatively 6 inch PVC per AWWA C909, DR 18, Class 150. PVC water main shall have elastomeric gaskets only. DIP joints shall be push-on type.

Fittings: All fittings shall be compact ductile iron conforming to AWWA C153, with mechanical joints and cement mortar lining.

Joint Restraint: Joint restraint shall be EBBA Iron, Series 810 "Coverall." Restrained joint pipe shall be bid on a lineal foot basis.

Water Service Lines: Water service lines shall be 1 inch or sized to match existing; Type K copper per ASTM B88.

Corporation Stops: Corporation stops shall be Mueller H-15008 or AY MacDonald 4701 Q fitting, all per AWWA C800. Install corporation stop into tapping saddle for PVC watermain.

Tapping Saddles: Tapping saddles for 3/4 inch and 1 inch service lines shall be epoxy coated ductile iron Smith Blair 317 or AY McDonald 4855A. Saddles shall have AWWA threaded outlets.

Curb Stops: Curb stops shall be Mueller H-15155 or AY MacDonald 6100 Q fitting, all per AWWA C800.

Curb Box: Curb boxes shall be Mueller H-10334 with 3 foot rod or AY McDonald 5607 with 3 foot rod. Curb boxes will be designed for installation in concrete.

Depth: All water main and service connections are to be installed with a minimum of 5.5 feet of cover.

Indicator/Tracer Wire: Indicator wire shall be insulated #14 AWG copper clad steel wire installed on top of the water main for indication of location. A 10 to 12 foot coil of wire shall be placed in the valve boxes. Splices shall be avoided if possible, otherwise waterproof connections are required.

Tracer Wire Terminal Box: A terminal box shall be installed and connected to the tracer wires at each fire hydrant. Installation of terminal box and connection of tracer wires to be in accordance with terminal box manufacturers instructions, using a 1 inch PVC riser from the top of the water main into the terminal box.

**Section 41 — Pipe Installation for Water Mains**

Connection to Existing: Connections to existing mains will require a mechanical joint tee and Smith-Blair 441 coupling. See plan for these locations. The water main at these locations can be isolated by shut off valves at the time of making the connection. Contractor shall depressurize main prior to installation of the tee. Contractor shall assist City of Galena in notifying affected residents when water is to be shut off.

Testing: New main shall be pressure/leakage and bacteria tested prior to connection of service lines. The duration of each pressure test shall be not less than 2 hours.

**Section 42 — Gate Valves for Water Mains**

Valves: Valves shall be resilient seated gate valves per AWWA C509 with mechanical joints per AWWA C111. Valves shall be NRS and open clockwise. Gate valves will be Mueller or equivalent per AWWA standard.

**Section 44 — Valve Vaults and Boxes for Water Mains and Water Services**

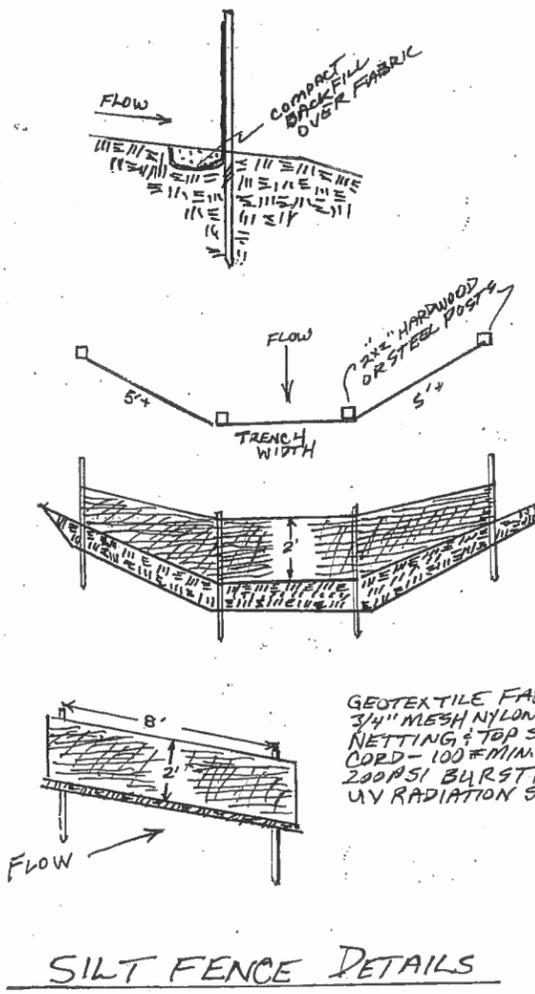
Valve Boxes: The valve boxes shall be Tyler Union 6850 screw type or equivalent per AWWA standard. Valve box shall include a Valve Box Adaptor II centering device by Adaptor Inc., sized to suit selected manufactured valve.

**Section 45 — Fire Hydrants**

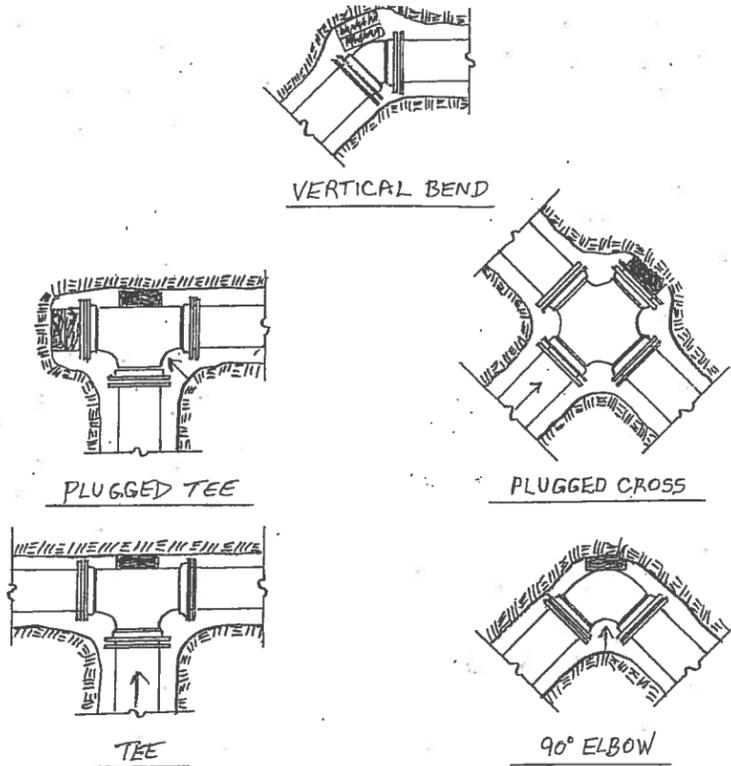
Fire Hydrants: Fire Hydrants will be purchased and furnished by the City of Galena for installation by the contractor. Hydrants shall be Mueller Centurion or Kennedy oil-lubricated.

Revised 5/13/10

- GENERAL NOTES:
1. DISTANCES SHOWN ARE APPROXIMATE, CONTRACTOR SHALL FIELD VERIFY LENGTHS PRIOR TO ORDERING MATERIALS.
  2. ALL WATER MAIN AND SERVICES TO BE INSTALLED IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
  3. 10 FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN NEW WATERMAIN AND EXISTING SANITARY SEWERS AND STORM SEWERS.
  4. 18 INCH MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN AND SANITARY SEWERS AND STORM SEWERS.
  5. ALL WATER VALVES IN NEW PAVEMENT SURFACE AREAS SHALL BE ADJUSTED VERTICALLY TO MATCH FINAL PAVEMENT GRADE.
  6. CONTRACTOR SHALL OBTAIN ILLINOIS DEPARTMENT OF TRANSPORTATION CONSTRUCTION PERMIT FOR CONSTRUCTION WITHIN STATE RIGHT OF WAY.
  7. CONTRACTOR TO PROVIDE TRAFFIC CONTROL ACCORDING TO IDOT CONSTRUCTION PERMIT.
  8. ALL GROUND DISTURBED DURING CONSTRUCTION TO BE REINSTATED TO ITS FORMER CONDITION.
  9. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL UTILITIES REGARDING UNDERGROUND AND OVERHEAD UTILITIES.

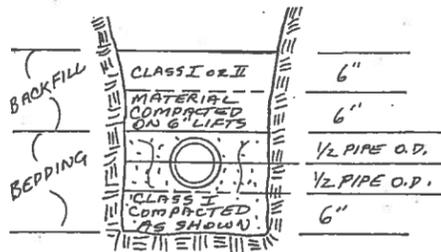


OF	
G T E	
G I E	
G	SCALE: N/A SHEET 6 DATE: 3/31/16



BLOCKS TO BE 3000 PSI CONCRETE AND BEAR ON UNDISTURBED EARTH.

THRUST BLOCK DETAILS

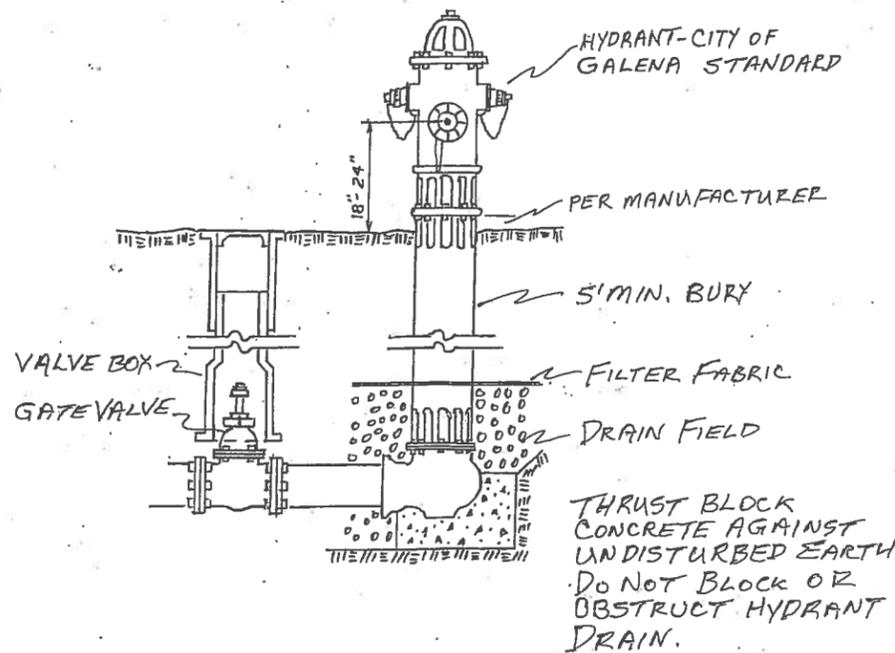
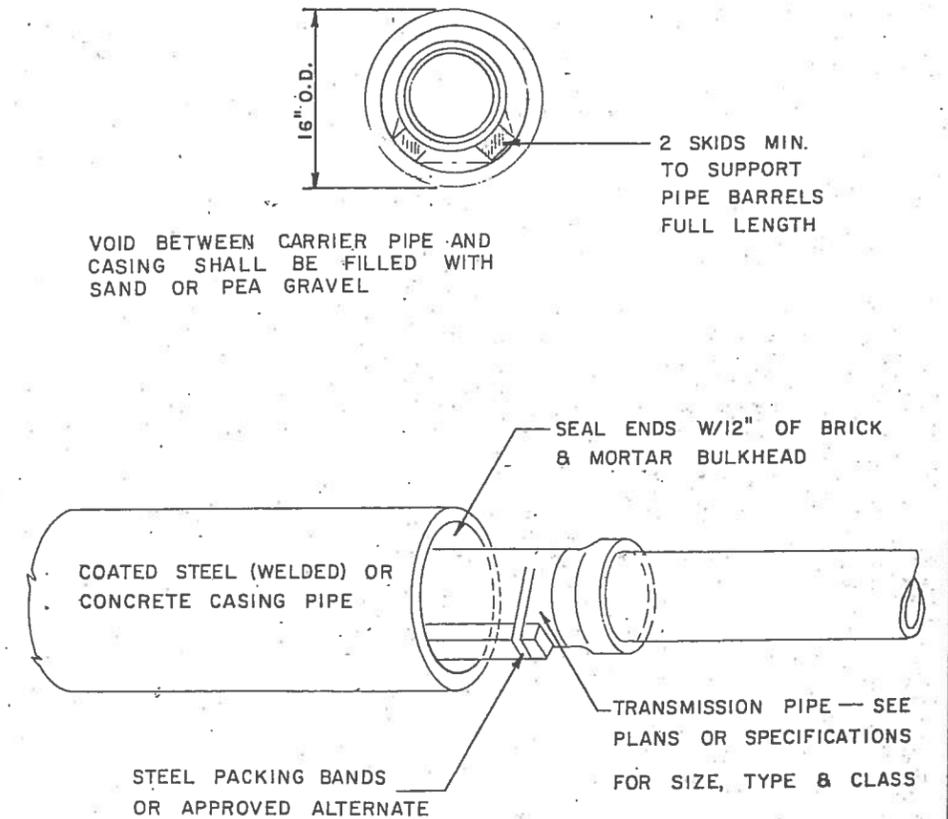
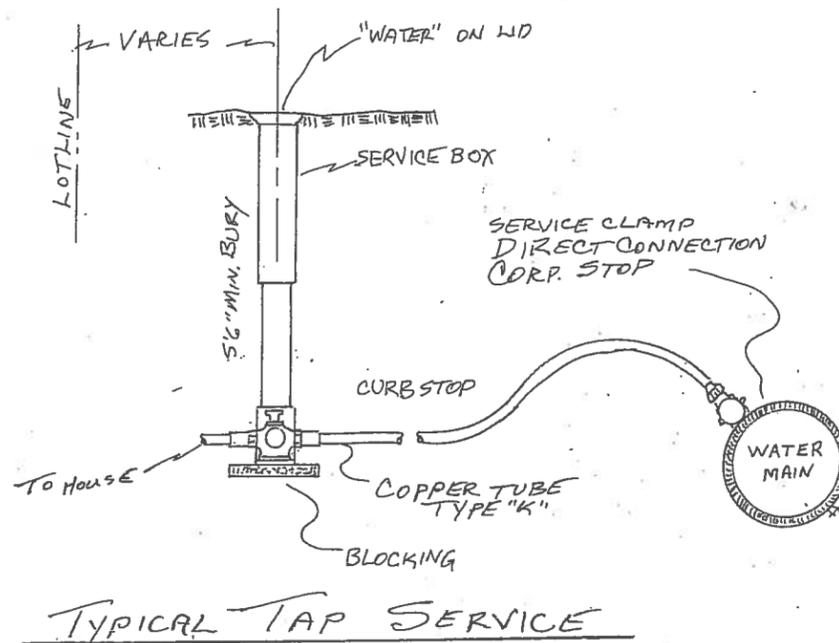


CLASS I BEDDING DETAIL

ASTM D-2321

CLASS I MATERIAL: 1/4-1/2 GRADED OR CRUSHED STONE

CLASS II MATERIAL: COARSE SANDS AND GRAVEL TO 1/2". SMALL % OF GRANULAR/NON-COHESIVE MTL. MIN. COMPACTION-85% PROCTOR



<b>TYPICAL DETAILS</b>	
<b>GATEWAY PARK SUBDIVISION</b>	
<b>CITY OF GALENA JO DAVIESS COUNTY, ILLINOIS</b>	
<b>Tom Golden P.E.</b> 904 Campbell Street Galena, Illinois 61036	SCALE: N/A <b>SHEET 7</b> DATE: 3/31/16

# EXHIBIT 5 LANDSCAPING PLAN



This page included to indicate existing vegetation on property. Disregard proposed building locations - conceptual



**Key:**

- Tree
- ⊕ Climax Tree
- Shrub
- Existing Vegetation

LANDSCAPE POINTS CALCULATIONS

LOT	BUILDING FOUNDATION	STREET FRONTAGES	PAVED AREAS	DEVELOPED LOT	BUFFERYARD	TOTAL
1	381	474	447	500	0	1,802
2	205	238	174	322	0	939
3	168	283	108	208	0	767
4	158	72	166	150	0	546
5	496	39	492	520	3,974	5,521
6	96	274	37	64	0	471

- NOTES:
- EXISTING VEGETATION AND TREES ON THE LOTS WHICH ARE TO BE LEFT IN PLACE MAY SERVE TO DECREASE THE NUMBER OF LANDSCAPING POINTS REQUIRED.
  - THERE ARE NO AREAS OF 100-YEAR FLOOD ASSOCIATED WITH THIS PROPERTY ACCORDING TO FEMA FIRM MAP NUMBER 170902-0150-B.
  - A QUERY OF ECO-CAT RETURNED NO WETLANDS REPORTED ON THIS PROPERTY.



AASHTO Group Classification (Surface)—Jo Daviess County, Illinois  
(Aerial Photo and Soils Map)



Map Scale: 1:4,590 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 15N WGS84



### MAP LEGEND

**Area of Interest (AOI)**

 Area of Interest (AOI)

**Soils**

**Soil Rating Polygons**

-  A-1
-  A-1-a
-  A-1-b
-  A-2
-  A-2-4
-  A-2-5
-  A-2-6
-  A-2-7
-  A-3
-  A-4
-  A-5
-  A-6
-  A-7
-  A-7-5
-  A-7-6
-  A-8
-  Not rated or not available

**Soil Rating Lines**

-  A-1
-  A-1-a
-  A-1-b
-  A-2

-  A-2-4
-  A-2-5
-  A-2-6
-  A-2-7
-  A-3
-  A-4
-  A-5
-  A-6
-  A-7
-  A-7-5
-  A-7-6
-  A-8
-  Not rated or not available

**Soil Rating Points**

-  A-1
-  A-1-a
-  A-1-b
-  A-2
-  A-2-4
-  A-2-5
-  A-2-6
-  A-2-7
-  A-3
-  A-4
-  A-5
-  A-6

-  A-7
-  A-7-5
-  A-7-6
-  A-8
-  Not rated or not available

**Water Features**

 Streams and Canals

**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.  
Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Jo Daviess County, Illinois  
Survey Area Data: Version 12, Sep 25, 2015

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 2, 2011—Aug 21, 2011

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## AASHTO Group Classification (Surface)

AASHTO Group Classification (Surface)— Summary by Map Unit — Jo Daviess County, Illinois (IL085)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
29D2	Dubuque silt loam, 10 to 18 percent slopes, moderately eroded	A-6	2.8	9.0%
279B	Rozetta silt loam, 2 to 5 percent slopes	A-6	0.3	0.9%
279C2	Rozetta silt loam, 5 to 10 percent slopes, eroded	A-6	3.2	10.1%
279D2	Rozetta silt loam, 10 to 18 percent slopes, eroded	A-6	0.2	0.5%
280B2	Fayette silt loam, 2 to 5 percent slopes, eroded	A-6	3.1	9.9%
280C2	Fayette silt loam, 5 to 10 percent slopes, eroded	A-6	0.4	1.2%
280D2	Fayette silt loam, 10 to 18 percent slopes, eroded	A-6	3.2	10.4%
280F	Fayette silt loam, 18 to 35 percent slopes	A-6	1.5	4.7%
417D2	Derinda silt loam, 10 to 18 percent slopes, eroded	A-6	4.9	15.7%
429D2	Palsgrove silt loam, 10 to 18 percent slopes, moderately eroded	A-6	1.7	5.5%
785F	Lacrescent cobbly silt loam, 18 to 35 percent slopes	A-7-6	2.0	6.4%
785G	Lacrescent cobbly silt loam, 35 to 60 percent slopes	A-7-6	8.0	25.6%
<b>Totals for Area of Interest</b>			<b>31.1</b>	<b>100.0%</b>



Applicant: Tom Golden
Contact: Tom Golden P.E.
Address: 904 Campbell Street
Galena, IL 61036

IDNR Project Number: 1608981
Date: 03/28/2016

Project: Gateway Park Subdivision
Address: West Powder House Hill Rd., Galena

Description: 6 parcel subdivision to be used in a light commercial application. An EPA water main permit is required.

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database shows the following protected resources may be in the vicinity of the project location:

Horseshoe Mound Geological Area INAI Site
Pallid Shiner (Hybopsis amnis)

An IDNR staff member will evaluate this information and contact you to request additional information or to terminate consultation if adverse effects are unlikely.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Jo Daviess

Township, Range, Section:
28N, 1E, 21



IL Department of Natural Resources
Contact: Keith Shank
217-785-5500
Division of Ecosystems & Environment

Government Jurisdiction
City of Galena
Andrew Lewis
101 Green Street
Galena, Illinois 61036

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments.

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes.

- 1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act.
2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.



FAX 217/524-7525  
[www.illinoishistory.gov](http://www.illinoishistory.gov)

JoDaviess County  
Galena  
NE of US Route 20/84 West & West Powder House Hill Road  
IEPA  
New construction/water main extension - Gateway Park Subdivision

PLEASE REFER TO: IHPA LOG #008031816

April 29, 2016

Tom Golden P.E.  
904 Campbell Street  
Galena, IL 61036

Dear Mr. Golden:

The Illinois Historic Preservation Agency is required by the Illinois State Agency Historic Resources Preservation Act (20 ILCS 3420, as amended, 17 IAC 4180) to review all state funded, permitted or licensed undertakings for their effect on cultural resources. Pursuant to this, we have received information regarding the referenced project for our comment.

Our staff has reviewed the specifications under the state law and assessed the impact of the project as submitted by your office. We have determined, based on the available information, that no significant historic, architectural or archaeological resources are located within the proposed project area.

According to the information you have provided concerning your proposed project, apparently there is no federal involvement in your project. However, please note that the state law is less restrictive than the federal cultural resource laws concerning archaeology. If your project will use federal loans or grants, need federal agency permits, use federal property, or involve assistance from a federal agency, then your project must be reviewed under the National Historic Preservation Act of 1966, as amended. Please notify us immediately if such is the case.

This clearance remains in effect for two (2) years from date of issuance. It does not pertain to any discovery during construction, nor is it a clearance for purposes of the IL Human Skeletal Remains Protection Act (20 ILCS 3440).

Please retain this letter in your files as evidence of compliance with the Illinois State Agency Historic Resources Preservation Act.

Sincerely,

Rachel Leibowitz, Ph.D.  
Deputy State Historic  
Preservation Officer



# Illinois Department of Transportation

Division of Highways / Region 2 / District 2  
819 Depot Avenue / Dixon, Illinois / 61021-3500  
Telephone 815/284-2271

## PROGRAM DEVELOPMENT

Programming  
JoDaviess County

January 26, 2016

Mr. Matt Oldenburg  
City of Galena  
101 Green Street  
P. O. Box 310  
Galena, Illinois 61036

Dear Mr. Oldenburg:

Thank you for the notification of public hearing on Monday, February 8, 2016 at 6:30 p.m. Your letter states that a request has been submitted to your office for a proposed subdivision. The property is located at 9146 U.S. 20 West, Galena, Illinois 61036, and is owned by James Sullivan and Alex Phillips.

Petitioners must apply to this office for an access permit for a new entrance or a modification to an existing entrance onto a state maintained road. U.S. 20 is a state maintained road. Therefore, if either of these is intended, please have the petitioners contact Mr. Jason Stringer, Permit Technician at (815) 284-5489 for access permit information.

Currently, the department has no roadway construction plans for this area that will affect this zoning request.

Thank you for the opportunity to comment on the zoning notice. If you have any questions, please call Ms. Veronica Sarver, Systems Inventory Supervisor, at (815) 284-5447.

Sincerely,

Paul A. Loete, P.E.  
Deputy Director of Highways,  
Region Two Engineer

A handwritten signature in blue ink that reads "Kevin Marchek".

By: Kevin Marchek, P.E.  
Engineer of Program Development

VS/fd

**From:** [Calvert, Matt](#)  
**To:** [Matt J. Oldenburg](#)  
**Subject:** Subdivision  
**Date:** Wednesday, May 18, 2016 3:33:49 PM

---

Matt,

This e-mail is in consideration of installing private sewage disposal systems & private water wells for the proposed lots at the Sullivan subdivision on West Powder House Hill Rd., Galena.

According to the Illinois Private Sewage Disposal Code Section 905.20(e), "New or renovated private sewage disposal systems shall not be approved where a sanitary sewer operated & maintained under permit of the Illinois Environmental Protection Agency is available for connection. A sanitary sewer is available for connection when it is within 300 feet of a residential property or a non-residential property with a sewage flow less than 1500 gallons per day, or within 1000 feet of a non-residential property with a sewage flow greater than or equal to 1500 gallons per day, unless a physical barrier or local ordinance exists that prevents connection to the sewer."

The most current sewer main map that this office has on file indicates that the nearest sewer mains to West Powder House Hill Rd. is located in the Timpe subdivision on the eastern ends of Domino Ln. & northern edge of Apollo Ct. From Domino Ln. to the western edge of West Powder House Hill Rd. there is approximately 782 linear feet of distance & from Apollo Ct. to the western edge of West Powder House Hill Rd. there is approximately 646 linear feet of distance. With these distances, it would be permitted to install private sewage disposal systems for residential or non-residential units with a daily sewage flow of less than 1500 gallons.

It is the intent of the developer to extend city water to the lots located on West Powder House Hill Rd. According to the Jo Daviess County Protection of Water Supply Ordinance 5-7A-4, "In those locations where a public water supply is reasonably available, that supply shall be the sole source of water for drinking & culinary purposes. A public water supply shall be deemed reasonably available when the subject property is located within two hundred feet of the public water supply to which connection is practical & is permitted by the controlling authority of said water supply." If the extension of water service is approved by the Illinois Environmental Protection Agency & available for all lots in this subdivision, private water wells will not be permitted.

If you have any additional questions, please let me know.

Thanks

Matt Calvert  
Director of Environmental Health

Jo Daviess County Health Department  
9483 US Rt. 20 West, PO Box 318  
Galena, IL 61036

815-777-0283 phone

815-777-2977 fax

[www.jodaviess.org/publichealth](http://www.jodaviess.org/publichealth)

[mcalvert@jodaviess.org](mailto:mcalvert@jodaviess.org)



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June 8, 2016

Dear Council members:

The Galena Dog Park group is looking for a minimum 30,000 sq. ft. of city-owned land to build a fenced-in dog park where dogs of all sizes can run, chase, sniff, wrestle and in general be dogs, unconstrained by leashes. This would be an area owned by the City of Galena and maintained by the members of the Galena Dog Park group.

Park organizers are committed to continual fundraising to establish and care for the park once created. The group has obtained support from individuals, dog-related local businesses and corporations. We guarantee that we will not be asking the City of Galena for funds. This will be fully-funded before the first stage is developed—the basic structure of fencing and grass.

The Galena Dog Park will rely on the ongoing volunteer assistance of dog owners with cleanup and routine maintenance and to make sure dog owners follow the rules.

Could you give us a direction to proceed? Would you consider a one-year trial? We will come back to the city with design ideas for approval. We will come to the city each step of the way.

GDP group Chair Jane Holland, 815-238-6010

<p><b>SCENIC MEADOWS LOWER</b> Most support from committee</p> <p><b>PRO:</b></p> <ul style="list-style-type: none"> <li>• Natural open area</li> <li>• Areas for trails</li> <li>• Could be a benefit for future homes</li> <li>• Stream for water</li> <li>• Water source available</li> <li>• Low traffic</li> <li>• Prep for fencing minimal</li> <li>• No need to mowing</li> <li>• Off-street parking</li> <li>• Many trees established</li> <li>• No houses close</li> <li>• Many support</li> </ul> <p><b>CON:</b></p> <ul style="list-style-type: none"> <li>• May be prone to flooding</li> <li>• Unsure of future development</li> </ul>	<p><b>RECREATION PARK</b> Strong support from committee</p> <p><b>PRO:</b></p> <ul style="list-style-type: none"> <li>• Parking</li> <li>• Water is available</li> <li>• Visible location</li> <li>• Established park</li> <li>• Prep for fencing minimal</li> <li>• Many support</li> </ul> <p>Near volleyball</p> <ul style="list-style-type: none"> <li>• Small area</li> <li>• No room for expansion</li> <li>• City crew needs to mow around</li> <li>• No trees for shade</li> </ul> <p>Near swimming pool</p> <ul style="list-style-type: none"> <li>• No room for expansion</li> <li>• City crew needs to mow around</li> <li>• Pool noise may scare some dogs</li> </ul> <p>Old pool area</p> <ul style="list-style-type: none"> <li>• Larger area</li> <li>• Some room for expansion</li> <li>• City crew needs to mow around</li> <li>• No trees for shade</li> </ul>	<p><b>SCENIC MEADOWS UPPER</b> Some support from committee</p> <p><b>PRO:</b></p> <ul style="list-style-type: none"> <li>• Natural open area</li> <li>• Areas for trails</li> <li>• Low traffic</li> <li>• Off-street parking</li> <li>• Many trees established</li> </ul> <p><b>CON:</b></p> <ul style="list-style-type: none"> <li>• Walkway may be expensive</li> <li>• Difficult terrain</li> <li>• Water not close</li> </ul> <hr/> <p><b>TURTLE POND</b> Little support from committee</p> <p><b>PRO:</b></p> <ul style="list-style-type: none"> <li>• Natural open area</li> <li>• Off-street parking</li> <li>• Few trees established for shade</li> </ul> <p><b>CON:</b></p> <ul style="list-style-type: none"> <li>• Water could be expensive</li> <li>• Expansion may not be possible</li> <li>• Distance from town</li> </ul>
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*Unit School District 120*

*Steve Bianchetta, Interim Superintendent*

May 18, 2016

City of Galena  
101 Green St.  
Galena, IL 61036

Attn: Mark Moran, City Administrator

Re: Galena High School – Sewage Overflow Issue

Dear Mr. Moran,

This is a follow up letter to our meeting last month concerning the sewage overflow issue at the Galena High School. As you know, when the community experiences a heavy rainfall, there has been a surge of sewage that has periodically flooded parts of the lower level of the High School. During our meeting, we discussed possible solutions. The District has determined that the most cost efficient approach to correcting the problem is to install a valve on the sewer line that would prevent the sewage from surging into the building. The cost of this project is estimated at the \$5,000 – \$6,000 range.

You will recall, that during our meeting, we discussed the City paying all or, at least, a portion of the cost of fixing the problem. Therefore, this is a request for the City to contribute to the cost of installing the sewer line valve. We will provide you with a final bill outlining the cost of the project.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Bianchetta". The signature is written over a large, light-colored oval shape.

Steve Bianchetta  
Interim Superintendent

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GALENA-JO DAVIESS COUNTY  
 HISTORICAL SOCIETY

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Executive Director

**Board of Directors**

Christine Harris  
President

Mary Jo Losey  
Vice President

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Bill Karberg

Kathleen Morgan

MEMO: June 7, 2016

TO: Mayor Renner and the City of Galena Councilpersons



FROM: Dan McCarthy, Event Co-Chair      Denise Spielman, Event Co-Chair  
Director of Marketing                      Retail Manager

RE: "Heroes for History" Event Authorization: Sat., Sept. 10, 2016

The Historical Society is proud to be the guardian and interpreter of local, regional, and national history which impacts the Galena community. To commemorate the upcoming 15th Anniversary of 9/11, we have partnered with the Galena Fire Department and EMTs to create a fun new event entitled Heroes for History. **We respectfully request your authorization for the following event.**

**Heroes for History**

Reminiscent of the Twin Towers, Galena's iconic Green Street and Washington Street stairways between Bench to Prospect streets will be the location for a new and patriotic athletic experience (in remembrance of September 11, 2001). Participants may compete in a 10-lap professionally timed event with multiple divisions, or may opt for a non-timed run/walk.

**Event Date**

Saturday, September 10, 2016. 8 a.m. to noon.

**Objectives**

- Commemorate 9/11
- Honor our local first responders and all "heroes" who work for the common good
- Raise funds for the Galena-Jo Daviess County Historical Society and for area first responders (net profit split 50/50)
- Increase community awareness of Galena's history
- Make a personal statement by dressing as your favorite hero
- Attract new Historical Society friends/supporters
- Have FUN in a unique challenge with a nod toward healthy activity and history!

— Page 1 of 2 —

—Page 2 of 2—

Galena-Jo Daviess County Historical Society **Heroes for History** Authorization Request

### **Event Course**

The staging area and start/finish line tentatively is set for the parking lot of Miller & Steinke Funeral Home on Bench Street. Course route:

- up the Green Street stairs to Prospect Street
- north on Prospect Street to the Washington Street stairway
- down stairway to Bench Street
- then south past the museum back to the Funeral Home lot.

### **Event Options**

1. Competitive run: 10 laps professionally timed, with various divisions by gender and age
2. Non-competitive run/walk: non-timed, 1 or more laps in which participants can raise money by collecting pledges per lap. Participants will be encouraged to dress as their favorite hero (just imagine Ulysses S. Grant and Eleanor Roosevelt sprinting up the stairs in athletic shoes!).
3. Option being considered: competitive first responders sprint up/down Green Street stairs fully loaded with gear????
4. TEAMS?????

### **Administration, Awards and Prizes**

There will be awards and prizes for the top three best times in each division and for most money raised. The History Museum will solicit local sponsorships and prizes for the event, as well as administer all marketing and registration.

### **Impact on Streets and Neighbors**

Due to the anticipated number of participants, Police Chief Lori Huntington suggests that portions of Bench and Prospect streets would be cordoned intermittently during some of the morning hours, so as to minimally impact neighbors during the race. This would allow traffic to flow on both streets but offer a participant lane for safety. There is already no parking on the river side of Prospect Street. On Bench Street, the safety lane would be adjacent to the sidewalk, with no parking between the Washington Street stairway and the Miller & Steinke Funeral Home to allow the one-way traffic to flow on the river side of the street. The museum will reach out to residents living in those impacted areas and provide advance notice and free passes to the museum to thank them for their patience during the event.

With your authorization, we will continue to refine the event details for a safe and memorable Heroes for History challenge. Thank you for your consideration.

# CITY OF GALENA, ILLINOIS

101 Green Street, PO Box 310, Galena, Illinois 61036



## MEMORANDUM

TO: Honorable Mayor Renner and City Council

FROM: Andy Lewis, City Engineer *A Lewis*

DATE: 24 May 2016

RE: Infrastructure Repair and Maintenance  
Approval of Unit Prices

Requests for unit costs for repairs to crosswalk, sidewalk and curb and gutter were sent to three contractors who have completed work for the city in recent years. Two contractors responded and the results are detailed below.

#	Item	Unit	Quantity	Louie's Trenching		Jackson Concrete	
				Unit Cost	Quantity	Unit Cost	Quantity
1	Remove and replace sidewalk 5 inch thick	SF	100	10.5	1050	10	1000
2	Remove and replace 5 inch thick exposed aggregate sidewalk	SF	50	13.5	675	13	650
3	Install sidewalk 5 inch thick	SF	50	9	450	9	450
4	Install curb and gutter, 24 inches wide, 6 inch high	SF	50	33	1650	29	1450
5	Remove and replace curb and gutter, 24 inches	LF	50	40	2000	35	1750
6	Remove and replace 9 inch thick concrete street, including epoxy coated dowels at 24	SF	100	33	3300	38	3800

This project involves the installation and replacement of various areas of crosswalk, sidewalk and curb and gutter at different locations through Galena. Each year a list of deteriorated areas is compiled and city staff arrange for a repair to be completed on an 'as need' basis.

The summary table indicates Jackson Concrete are best value for sidewalk and curb/gutter replacement while Louie's Trenching Service have provided the best unit cost for street replacement.

I recommend the city council approve Jackson Concrete for sidewalk and curb/gutter repair and Louie's Trenching Service for street replacement.

Invoice	Seq	Type	Description	Invoice Date	Total Cost	PO Number	GL Account
<b>604 MCDONALD SUPPLY DUBUQUE (120212)</b>							
S010856849.	1	Invoice	POOL REPAIRS WATER L	05/10/2016	20.80		59.55.511.01
S010857099.	1	Invoice	REPAIR WATER LINE	05/10/2016	50.00		59.55.511.01
Total 604 MCDONALD SUPPLY DUBUQUE (120212):					70.80		
<b>A &amp; T POOLS AND SPAS (120252)</b>							
1542	1	Invoice	SAND FILTER/START-UP	05/05/2016	3,540.00		59.55.511.02
Total A & T POOLS AND SPAS (120252):					3,540.00		
<b>ADDOCO INC (971)</b>							
00055606	1	Invoice	IMPROVEMENTS	05/18/2016	504.00		17.52.820.06
00055945	1	Invoice	IMPROVEMENTS	05/26/2016	288.00		17.52.820.06
0056152	1	Invoice	IMPROVEMENTS	06/02/2016	360.00		17.52.820.06
Total ADDOCO INC (971):					1,152.00		
<b>AMERICAN WATER ENTERPRISES (1005)</b>							
MA007-2001	1	Invoice	WATER CONTRACT	05/03/2016	26,304.30		51.42.515.00
MA007-2001	2	Invoice	SEWER CONTRACT	05/03/2016	26,304.30		51.42.515.00
Total AMERICAN WATER ENTERPRISES (1005):					52,608.60		
<b>AT &amp; T (LOCAL) (103)</b>							
060116	1	Invoice	PHONE	06/01/2016	392.24		01.21.552.00
Total AT & T (LOCAL) (103):					392.24		
<b>BARANSKI, HAMMER, (375)</b>							
1611-1	1	Invoice	PRAIRIE RIDGE PLAN RE	06/01/2016	6,200.00		01.46.549.02
Total BARANSKI, HAMMER, (375):					6,200.00		
<b>BARD MATERIALS CENTRAL REGION (119788)</b>							
218463	1	Invoice	STORM SEWER	05/21/2016	520.00		01.41.514.06
218464	1	Invoice	STORM SEWER	05/21/2016	205.50		01.41.514.06
219845	1	Invoice	STORM SEWER	05/31/2016	283.00		01.41.514.06
Total BARD MATERIALS CENTRAL REGION (119788):					1,008.50		
<b>BONNELL INDUSTRIES INC. (854)</b>							
0167997-CM	1	Invoice	2014 FORD 1-TON	03/03/2016	838.65-		01.41.613.01
0168914	1	Invoice	SIGN BRACKETS	05/25/2016	892.96		01.41.652.04
Total BONNELL INDUSTRIES INC. (854):					54.31		
<b>BSN SPORTS (120250)</b>							
060116	1	Invoice	VOLLEYBALL NETS	06/01/2016	101.04		17.52.517.02
Total BSN SPORTS (120250):					101.04		
<b>BUSINESS TECHNOLOGIES (938)</b>							
21048	1	Invoice	CASH REGISTER UPDAT	05/26/2016	35.00		59.55.651.00

CITY OF GALENA

Invoice Register  
Input Dates: 5/24/2016 - 6/30/2016Page: 2  
Jun 09, 2016 11:34AM

Invoice	Seq	Type	Description	Invoice Date	Total Cost	PO Number	GL Account
Total BUSINESS TECHNOLOGIES (938):					35.00		
<b>CITY OF GALENA (418)</b>							
052616	1	Invoice	POOL START UP FUNDS	05/26/2016	450.00		59.55.511.02
Total CITY OF GALENA (418):					450.00		
<b>CLICK ROI (119793)</b>							
4500	1	Invoice	TURNER HALL WEBSITE	05/23/2016	291.40		58.54.553.00
Total CLICK ROI (119793):					291.40		
<b>COMMUNITY FUNDING &amp; PLANNING SERV. (119937)</b>							
04	1	Invoice	ADMINISTRATION GRAN	05/24/2016	1,100.00		52.43.850.05
Total COMMUNITY FUNDING & PLANNING SERV. (119937):					1,100.00		
<b>CONMAT, INC. (1187)</b>							
101304	1	Invoice	STORM SEWER	05/19/2016	67.02		01.41.514.06
101419	1	Invoice	STORM SEWER WASHO	05/24/2016	59.55		01.41.514.06
Total CONMAT, INC. (1187):					126.57		
<b>CONNOLLY, ANDREA (120248)</b>							
060116	1	Invoice	REFUND	06/01/2016	15.00		01.11.912.00
Total CONNOLLY, ANDREA (120248):					15.00		
<b>CRESCENT ELECTRIC SUPPLY (224)</b>							
S502114124.	1	Invoice	ST. LIGHT MAINTENANC	05/31/2016	149.80		01.41.514.11
Total CRESCENT ELECTRIC SUPPLY (224):					149.80		
<b>DAN'S AERIAL SERVICE (119789)</b>							
4464	1	Invoice	TREES	05/27/2016	1,800.00		01.41.517.02
Total DAN'S AERIAL SERVICE (119789):					1,800.00		
<b>DOIG, KATHLEEN (119339)</b>							
060616	1	Invoice	MARKET HOUSE RESTR	06/06/2016	225.00		01.13.511.06
Total DOIG, KATHLEEN (119339):					225.00		
<b>DUHACK (LEHN) &amp; SONS, INC. (119578)</b>							
051816	1	Invoice	STORAGE BARN	05/18/2016	5,530.00		22.22.840.05
Total DUHACK (LEHN) & SONS, INC. (119578):					5,530.00		
<b>EJ EQUIPMENT, INC. (119950)</b>							
P02077	1	Invoice	SWEEPER	06/03/2016	89.50		01.41.613.11
Total EJ EQUIPMENT, INC. (119950):					89.50		

Invoice	Seq	Type	Description	Invoice Date	Total Cost	PO Number	GL Account
<b>FARNER BOCKEN COMPANY (792)</b>							
4854082	1	Invoice	CONCESSION SUPPLIES	05/26/2016	2,836.87		59.55.652.05
4871892	1	Invoice	CONCESSION SUPPLIES	06/03/2016	1,604.77		59.55.652.05
Total FARNER BOCKEN COMPANY (792):					4,441.64		
<b>G &amp; K SERVICES (532)</b>							
053116	1	Invoice	UNIFORM SERVICES	05/31/2016	316.98		01.41.579.02
927292	1	Invoice	UNIFORMS/FINAL BILL	06/01/2016	1,215.06		01.41.579.02
Total G & K SERVICES (532):					1,532.04		
<b>GALENA ARC (850)</b>							
061016	1	Invoice	HAHN COUNCIL SALARY	06/10/2016	100.00		01.11.432.00
Total GALENA ARC (850):					100.00		
<b>GALENA GAZETTE (34)</b>							
00049323	1	Invoice	PUBLIC HEARING NOTIC	05/20/2016	28.50		01.46.553.00
00049368	1	Invoice	PUBLIC HEARING NOTIC	05/20/2016	66.50		01.16.553.00
052516	1	Invoice	AD	05/25/2016	161.00		01.14.553.00
060116	1	Invoice	AD	06/01/2016	77.60		01.21.549.00
Total GALENA GAZETTE (34):					333.60		
<b>GALL'S, INC. (712)</b>							
005399038	1	Invoice	UNIFORMS/LORI	05/16/2016	47.72		01.21.471.15
005422146	1	Invoice	UNIFORMS/LORI	05/19/2016	39.28		01.21.471.15
Total GALL'S, INC. (712):					87.00		
<b>GASSER @ GALENA (24)</b>							
060116	1	Invoice	MISC. SUPPLIES	06/01/2016	34.66		01.21.652.03
060116	2	Invoice	MISC. SUPPLIES	06/01/2016	14.00		01.41.514.06
060116	3	Invoice	MISC. SUPPLIES	06/01/2016	21.02		01.41.514.11
060116	4	Invoice	MISC. SUPPLIES	06/01/2016	56.97		01.41.652.00
060116	5	Invoice	MISC. SUPPLIES	06/01/2016	31.45		01.41.653.00
060116	7	Invoice	MISC. SUPPLIES	06/01/2016	64.76		17.52.514.00
060116	8	Invoice	MISC. SUPPLIES	06/01/2016	201.32		17.52.652.00
060116	9	Invoice	MISC. SUPPLIES	06/01/2016	50.87		22.22.611.00
060116	10	Invoice	MISC. SUPPLIES	06/01/2016	17.16		22.22.652.00
060116	11	Invoice	POOL STARTUP	06/01/2016	281.68		59.55.511.02
Total GASSER @ GALENA (24):					773.89		
<b>GLOBAL REACH INTERNET PROD. (119792)</b>							
74388	1	Invoice	MONTHLY HOSTING FEE	04/01/2016	89.15		01.13.512.05
Total GLOBAL REACH INTERNET PROD. (119792):					89.15		
<b>GUY'S TRUCK &amp; TRACTOR SERVICE (119033)</b>							
GWIO06762	1	Invoice	2011 INTERNATIONAL	05/06/2016	124.83		01.41.613.06

Invoice	Seq	Type	Description	Invoice Date	Total Cost	PO Number	GL Account
Total GUY'S TRUCK & TRACTOR SERVICE (119033):					124.83		
<b>HALSTEAD, MARY L. (119966)</b>							
061316	1	Invoice	CITY HALL JANITOR	06/13/2016	240.00		01.13.511.07
061316	2	Invoice	PUBLIC RESTROOMS AT	06/13/2016	225.00		01.13.511.08
061316	3	Invoice	PARKS RESTROOMS	06/13/2016	675.00		17.52.422.00
Total HALSTEAD, MARY L. (119966):					1,140.00		
<b>HOLLAND &amp; SONS, INC. (120246)</b>							
042916	1	Invoice	EQUIPMENT	04/29/2016	1,050.00		01.41.840.01
Total HOLLAND & SONS, INC. (120246):					1,050.00		
<b>HULSCHER'S FENCING, INC. (164)</b>							
6926	1	Invoice	GATE IN KIDDY POOL AR	06/07/2016	1,791.00		59.55.511.01
Total HULSCHER'S FENCING, INC. (164):					1,791.00		
<b>IL DEPARTMENT OF CMS (CRF) (118967)</b>							
T1637001	1	Invoice	IN-SQUAD COMPUTER C	05/16/2016	232.60		01.21.542.00
Total IL DEPARTMENT OF CMS (CRF) (118967):					232.60		
<b>ILLINOIS ATTORNEY GENERAL (118940)</b>							
060116	1	Invoice	SEX OFFENDER REGIST	06/01/2016	30.00		01.21.549.00
Total ILLINOIS ATTORNEY GENERAL (118940):					30.00		
<b>ILLINOIS FIRE STORE (119034)</b>							
37190	1	Invoice	GAS MONITOR REPAIR	05/12/2016	202.97		22.22.652.00
37257	1	Invoice	HELMET LITES	05/19/2016	1,443.97		22.22.840.00
37272	1	Invoice	NAMEL PANELS FOR CO	05/23/2016	163.97		22.22.840.00
37333	1	Invoice	SPANNER WRENCHES	05/27/2016	190.00		22.22.840.00
37356	1	Invoice	HELMET REFLECTORS	05/31/2016	83.97		22.22.840.00
Total ILLINOIS FIRE STORE (119034):					2,084.88		
<b>ILLINOIS STATE POLICE (119872)</b>							
060116	1	Invoice	SEX OFFENDER REGIST	06/01/2016	30.00		01.21.549.00
Total ILLINOIS STATE POLICE (119872):					30.00		
<b>IPS, INC. (119554)</b>							
052516	1	Invoice	SLIDE/MUSHROOM REFI	05/25/2016	7,500.00		59.55.511.01
Total IPS, INC. (119554):					7,500.00		
<b>J &amp; R RENTAL (1014)</b>							
0036079	1	Invoice	SAFETY GLASSES	05/16/2016	139.65		01.41.652.05
0036225	1	Invoice	START-UP	05/22/2016	904.02		59.55.511.02
0036318	1	Invoice	SAFETY GLASSES	05/25/2016	65.40		01.41.652.05
0036330	1	Invoice	START-UP	05/25/2016	66.65		59.55.511.02

Invoice	Seq	Type	Description	Invoice Date	Total Cost	PO Number	GL Account
Total J & R RENTAL (1014):					1,175.72		
<b>J &amp; R SUPPLY INCORPORATED (951)</b>							
1606137	1	Invoice	CATCH BASIN 3RD STRE	06/01/2016	265.00		01.41.514.06
Total J & R SUPPLY INCORPORATED (951):					265.00		
<b>JO CARROLL ENERGY, INC. (397)</b>							
060116	1	Invoice	ELECTRIC/STREET LIGH	06/01/2016	5,576.56		15.41.572.00
060216	1	Invoice	CITY HALL/ELECTRIC	06/02/2016	340.72		01.13.571.01
060216	2	Invoice	POLICE/ELECTRIC	06/02/2016	471.91		01.21.571.01
060216	3	Invoice	PUBLIC WORKS/ELECTRI	06/02/2016	303.05		01.41.571.01
060216	4	Invoice	EMS/ELECTRIC	06/02/2016	124.52		12.10.571.01
060216	5	Invoice	PARKS/ELECTRIC	06/02/2016	266.96		17.52.571.01
060216	6	Invoice	FLOOD	06/02/2016	290.80		20.25.576.01
060216	7	Invoice	FIRE/ELECTRIC	06/02/2016	424.09		22.22.576.01
060216	8	Invoice	TURNER HALL/ELECTRIC	06/02/2016	494.67		58.54.571.01
060216	9	Invoice	POOL	06/02/2016	254.16		59.55.571.01
060216	10	Invoice	WELCOME SIGNS	06/02/2016	35.44		01.41.571.01
060216	11	Invoice	LIFT STATION	06/02/2016	126.22		52.43.850.09
060216	12	Invoice	DEPOT	06/02/2016	26.19		01.13.511.03
Total JO CARROLL ENERGY, INC. (397):					8,735.29		
<b>JO DAVIESS CTY CLERK/RECORDER (393)</b>							
051216	1	Invoice	RECORDING FEES	05/12/2016	102.00		01.14.553.00
Total JO DAVIESS CTY CLERK/RECORDER (393):					102.00		
<b>JO DAVIESS CTY SHERIFF (116)</b>							
060116	1	Invoice	CITY SHARE OF OFFICE	06/01/2016	200.12		01.21.538.00
060116	2	Invoice	RADIO SERVICE	06/01/2016	100.00		22.22.538.00
Total JO DAVIESS CTY SHERIFF (116):					300.12		
<b>JOHN DEERE FINANCIAL (119690)</b>							
060216	1	Invoice	MISC. SUPPLIES	06/02/2016	29.24		17.52.514.00
060216	2	Invoice	clothing	06/02/2016	83.98		01.41.471.09
Total JOHN DEERE FINANCIAL (119690):					113.22		
<b>KNAUER, CHRISTOPHER (120242)</b>							
060216	1	Invoice	CREDIT BALANCE REFU	06/02/2016	52.58		98.115.0
Total KNAUER, CHRISTOPHER (120242):					52.58		
<b>KUNAU IMPLEMENT (120249)</b>							
060616	1	Invoice	BOOM MOWER	06/06/2016	13,427.00		01.41.840.01
Total KUNAU IMPLEMENT (120249):					13,427.00		
<b>LAWSON PRODUCTS, INC. (627)</b>							
9304116698	1	Invoice	TOOLS	05/24/2016	86.19		01.41.653.00

Invoice	Seq	Type	Description	Invoice Date	Total Cost	PO Number	GL Account
Total LAWSON PRODUCTS, INC. (627):					86.19		
<b>LEXISNEXIS RISK SOLUTIONS (376)</b>							
1343164-201	1	Invoice	INVESTIGATION PROGR	05/31/2016	32.50		01.21.652.03
Total LEXISNEXIS RISK SOLUTIONS (376):					32.50		
<b>LIEB ENERGY SOLUTIONS, CO. (119931)</b>							
555435	1	Invoice	POOL REPAIRS	05/23/2016	2,375.00		59.55.511.01
Total LIEB ENERGY SOLUTIONS, CO. (119931):					2,375.00		
<b>LIME ROCK SPRINGS CO (PEPSI) (663)</b>							
20062264	1	Invoice	CONCESSION SUPPLIES	05/26/2016	682.88		59.55.652.05
20062974	1	Invoice	CONCESSION SUPPLIES	06/02/2016	220.00		59.55.652.05
Total LIME ROCK SPRINGS CO (PEPSI) (663):					902.88		
<b>LOUIE'S AGGREGATE COMPANY (1218)</b>							
4057	1	Invoice	BIKE TRAIL	05/23/2016	580.76		17.52.517.01
Total LOUIE'S AGGREGATE COMPANY (1218):					580.76		
<b>LOUIE'S TRENCHING SERVICE (127)</b>							
052316	1	Invoice	CONSTRUCTION	05/23/2016	21,133.20		52.43.850.05
3875	1	Invoice	CEMETERY PARK SIGN	05/23/2016	750.00		17.52.820.06
Total LOUIE'S TRENCHING SERVICE (127):					21,883.20		
<b>MENARDS (280)</b>							
04895	1	Invoice	FREEZER	05/26/2016	162.99		59.55.830.00
05213	1	Invoice	MISC. SUPPLIES	05/30/2016	42.85		59.55.511.02
Total MENARDS (280):					205.84		
<b>METLIFE SMALL BUSINESS CENTER (775)</b>							
060116	1	Invoice	EMPLOYEE LIFE	06/01/2016	205.60		01.13.452.00
Total METLIFE SMALL BUSINESS CENTER (775):					205.60		
<b>MIDWEST BUSINESS PRODUCTS (38)</b>							
324442	1	Invoice	PAPER FOR COPIER	05/16/2016	115.88		01.45.651.01
325973	1	Invoice	COPIER MAINTENANCE	05/26/2016	179.37		22.22.512.00
Total MIDWEST BUSINESS PRODUCTS (38):					295.25		
<b>MIDWEST POOLS &amp; SPAS, INC. (119982)</b>							
3001299	1	Invoice	POOL CHEMICALS	05/12/2016	4,756.42		59.55.656.00
3001300	1	Invoice	POOL CHEMICALS	05/12/2016	58.73		59.55.656.00
3001301	1	Invoice	POOL CHEMICALS	05/12/2016	4,644.00		59.55.656.00
3001302	1	Invoice	POOL CHEMICALS	05/17/2016	291.99		59.55.656.00

Invoice	Seq	Type	Description	Invoice Date	Total Cost	PO Number	GL Account
Total MIDWEST POOLS & SPAS, INC. (119982):					9,751.14		
<b>MIDWEST RADAR &amp; EQUIPMENT (467)</b>							
157871	1	Invoice	RADAR CERTIFICATION	05/31/2016	160.00		01.21.549.00
Total MIDWEST RADAR & EQUIPMENT (467):					160.00		
<b>MILLER-BRADFORD &amp; RISBERG (1001)</b>							
EK04132	1	Invoice	LOADER TRADE BACK	05/27/2016	20,000.00		01.41.830.05
Total MILLER-BRADFORD & RISBERG (1001):					20,000.00		
<b>MONTGOMERY TRUCKING (133)</b>							
060116	1	Invoice	REFUSE HANDLING CON	06/01/2016	13,477.80		13.44.540.04
060116	2	Invoice	RECYCLING CONTRACT	06/01/2016	4,660.20		13.44.540.00
060116	3	Invoice	DUMPSTER RENT	06/01/2016	60.00		13.44.544.03
060116	4	Invoice	DUMPSTER DISPOSAL F	06/01/2016	255.50		01.41.573.00
Total MONTGOMERY TRUCKING (133):					18,453.50		
<b>MUNICIPAL CLERKS OF IL (143)</b>							
060116	1	Invoice	SUMMER SEMINAR REGI	06/01/2016	65.00		01.14.563.00
Total MUNICIPAL CLERKS OF IL (143):					65.00		
<b>MURRAY, B. L. CO. INC. (135)</b>							
90707	1	Invoice	SUPPLIES	05/25/2016	32.60		01.41.652.00
Total MURRAY, B. L. CO. INC. (135):					32.60		
<b>NAPA AUTO PARTS (79)</b>							
060116	1	Invoice	MISC.	06/01/2016	230.29		17.52.514.00
060116	2	Invoice	EQUIPMENT	06/01/2016	59.91		17.52.652.00
060116	3	Invoice	CIVIL DEFENSE SIREN	06/01/2016	687.80		22.22.512.00
Total NAPA AUTO PARTS (79):					978.00		
<b>NICOR (151)</b>							
060116	1	Invoice	MARKETHOUSE RESTRO	06/01/2016	50.27		01.13.511.06
060116	2	Invoice	POOL-GAS	06/01/2016	153.52		59.55.571.02
Total NICOR (151):					203.79		
<b>NICOR (F) (118924)</b>							
060116	1	Invoice	CITY HALL-GAS	06/01/2016	97.79		01.13.571.05
060116	2	Invoice	POLICE-GAS	06/01/2016	84.10		01.21.571.05
060116	3	Invoice	PUBLIC WORKS-GAS	06/01/2016	177.48		01.41.571.05
060116	4	Invoice	FIRE DEPARTMENT-GAS	06/01/2016	110.25		22.22.571.05
060116	5	Invoice	TURNER HALL-GAS	06/01/2016	266.72		58.54.571.05
Total NICOR (F) (118924):					736.34		

Invoice	Seq	Type	Description	Invoice Date	Total Cost	PO Number	GL Account
<b>OFFICE OF IL STATE TREASURER (119871)</b>							
060116	1	Invoice	SEX OFFENDER REGIST	06/01/2016	5.00		01.21.549.00
Total OFFICE OF IL STATE TREASURER (119871):					5.00		
<b>ORKIN PEST CONTROL (574)</b>							
060116	1	Invoice	PEST CONTROL SERVIC	06/01/2016	88.21		01.13.511.01
Total ORKIN PEST CONTROL (574):					88.21		
<b>PERFECTION LAWN CARE (119990)</b>							
1248	1	Invoice	DEPOT LANDSCAPE	05/27/2016	100.00		01.13.511.03
Total PERFECTION LAWN CARE (119990):					100.00		
<b>PETSCHE, MARTY (120244)</b>							
060116	1	Invoice	CREDIT BALANCE REFU	06/01/2016	11.94		98.115.0
Total PETSCHE, MARTY (120244):					11.94		
<b>PETTY CASH/POLICE DEPT. (163)</b>							
060716	1	Invoice	POSTAGE	06/07/2016	8.45		01.21.551.00
060716	2	Invoice	MEALS	06/07/2016	44.03		01.21.562.00
Total PETTY CASH/POLICE DEPT. (163):					52.48		
<b>PLIC - SBD GRAND ISLAND (120208)</b>							
060116	1	Invoice	DENTAL INSURANCE	06/01/2016	1,637.35		01.13.451.01
Total PLIC - SBD GRAND ISLAND (120208):					1,637.35		
<b>QUILL CORP. (686)</b>							
60557708	1	Invoice	OFFICE SUPPLES/POLIC	05/19/2016	79.99		01.21.651.00
6221349	1	Invoice	OFFICE SUPPLES/ALL	05/27/2016	18.08		01.13.651.02
Total QUILL CORP. (686):					98.07		
<b>RIGDON, JIM (805)</b>							
051916	1	Invoice	SUPPLIES/POOL PAINTIN	05/19/2016	57.86		01.41.652.00
Total RIGDON, JIM (805):					57.86		
<b>RODDICK, KIM (120251)</b>							
052316	1	Invoice	DEPOSIT REFUND	05/23/2016	200.00		58.54.929.00
Total RODDICK, KIM (120251):					200.00		
<b>RUFFINI, CELESTINO (120245)</b>							
060216	1	Invoice	CREDIT BALANCE REFU	06/02/2016	7.86		98.115.0
Total RUFFINI, CELESTINO (120245):					7.86		
<b>RUNDE CHEVROLET (420)</b>							
326452	1	Invoice	2011 PICKUP	05/31/2016	93.19		01.41.613.04

Invoice	Seq	Type	Description	Invoice Date	Total Cost	PO Number	GL Account
Total RUNDE CHEVROLET (420):					93.19		
<b>SAUSER, ALENE (120247)</b>							
051316	1	Invoice	PARK REFUND	05/13/2016	25.00		17.52.929.00
Total SAUSER, ALENE (120247):					25.00		
<b>SECURITY PRODUCTS OF DUBUQUE (119890)</b>							
0446723	1	Invoice	ALARM MONITORING	05/31/2016	27.00		01.13.552.00
Total SECURITY PRODUCTS OF DUBUQUE (119890):					27.00		
<b>SHERWIN-WILLIAMS CO (331)</b>							
2635-9	1	Invoice	STARTUP	05/18/2016	138.38		59.55.511.02
5756-6	1	Invoice	STARTUP	05/18/2016	87.24		59.55.511.02
Total SHERWIN-WILLIAMS CO (331):					225.62		
<b>STATE OF ILLINOIS/FIRE MARSHAL (445)</b>							
9556612	1	Invoice	BOILER INSEPCTION	05/19/2016	100.00		59.55.511.02
Total STATE OF ILLINOIS/FIRE MARSHAL (445):					100.00		
<b>STEPHENSON SERVICE CO. (119230)</b>							
053116	1	Invoice	FUEL	05/31/2016	254.08		01.41.655.00
Total STEPHENSON SERVICE CO. (119230):					254.08		
<b>TRI-STATE APPAREL (120154)</b>							
111348	1	Invoice	SUPPLIES	05/20/2016	43.96		01.41.652.00
111348	2	Invoice	CLOTHING	05/20/2016	109.50		01.41.579.01
111350	1	Invoice	MISC. UNIFORMS/PART T	05/20/2016	183.84		01.41.652.00
111435	1	Invoice	STAFF UNIFORMS	05/24/2016	165.75		59.55.691.04
111496	1	Invoice	UNIFORMS/LORI	05/25/2016	19.49		01.21.471.15
111581	1	Invoice	CLOTHING	05/26/2016	69.79		01.41.471.09
Total TRI-STATE APPAREL (120154):					592.33		
<b>UNIFORM DEN EAST, INC. (119474)</b>							
45465	1	Invoice	UNIFORMS/NATHAN	05/27/2016	266.08		01.21.471.15
Total UNIFORM DEN EAST, INC. (119474):					266.08		
<b>US BANK (118903)</b>							
288162	1	Invoice	DEBT SERVICE	05/09/2016	27,350.00		60.41.710.01
288166	1	Invoice	TREATMENT PLANT DEB	05/09/2016	150,991.25		52.43.742.00
289907	1	Invoice	DEBT SERVICE	05/16/2016	7,387.50		60.41.720.03
Total US BANK (118903):					185,728.75		
<b>US BANK (SAFEBOX) (391)</b>							
053116	1	Invoice	SAFE DEPOSIT BOX	05/31/2016	76.00		01.13.570.00

Invoice	Seq	Type	Description	Invoice Date	Total Cost	PO Number	GL Account
Total US BANK (SAFEBOX) (391):					76.00		
<b>US CELLULAR (92)</b>							
060116	1	Invoice	PUBLIC WORKS/CELL PH	06/01/2016	45.41		01.41.552.00
060116	2	Invoice	ADMIN/CELL PHONE	06/01/2016	43.21		01.11.552.00
060116	3	Invoice	FIRE DEPT./CELL PHONE	06/01/2016	34.22		22.22.552.00
060116	4	Invoice	POLICE/CELL PHONES	06/01/2016	84.37		01.21.552.01
060116	5	Invoice	HUNTINGTON/CELL PHO	06/01/2016	20.00		01.216.0
060116	6	Invoice	TONY/CELL PHONE	06/01/2016	52.99		01.261.0
Total US CELLULAR (92):					280.20		
<b>US POSTAL SERVICE (1076)</b>							
053116	1	Invoice	PERMIT 82 ACCOUNT PO	05/31/2016	250.00		52.43.551.00
053116	2	Invoice	PERMIT 82 ACCOUNT PO	05/31/2016	500.00		51.42.551.00
053116	3	Invoice	PERMIT 82 ACCOUNT PO	05/31/2016	750.00		13.44.551.00
Total US POSTAL SERVICE (1076):					1,500.00		
<b>VALLEY PERENNIALS (118994)</b>							
052716	1	Invoice	HANGING BASKETS	05/27/2016	1,125.00		01.11.929.01
6903	1	Invoice	GRANT PARK FLOWERS	05/27/2016	389.37		17.52.652.00
6922	1	Invoice	TREE REPLACEMENT	06/01/2016	131.97		01.41.517.02
Total VALLEY PERENNIALS (118994):					1,646.34		
<b>VERIZON WIRELESS (316)</b>							
9766193749	1	Invoice	PAY & DISPLAY	05/28/2016	25.04		01.21.537.00
Total VERIZON WIRELESS (316):					25.04		
<b>WEBER PAPER COMPANY (40)</b>							
D006388A	1	Invoice	INSTITUTIONAL SUPPLIE	06/03/2016	8.10		58.54.654.01
Total WEBER PAPER COMPANY (40):					8.10		
<b>WELU PRINTING CO. (770)</b>							
99278	1	Invoice	BUSINESS CARDS	05/24/2016	54.76		01.13.554.00
Total WELU PRINTING CO. (770):					54.76		
<b>WHITE CONSTRUCTION CO., INC. (119359)</b>							
060116	1	Invoice	DEPOT DOOR REPAIRS	06/01/2016	225.00		01.13.511.03
060116	2	Invoice	TURNER HALL/RENTAL C	06/01/2016	300.00		58.54.536.00
060116	3	Invoice	KITCHEN ROOF	06/01/2016	690.00		58.54.820.00
060116	4	Invoice	PUBLIC WORKS JANITO	06/01/2016	110.00		01.41.511.01
Total WHITE CONSTRUCTION CO., INC. (119359):					1,325.00		
<b>WHITE'S LAWN CARE (119092)</b>							
8057	1	Invoice	LAWN CARE/FORECLOS	06/01/2016	75.00		51.42.929.00

Invoice	Seq	Type	Description	Invoice Date	Total Cost	PO Number	GL Account
Total WHITE'S LAWN CARE (119092):					75.00		
<b>WIZARD COMPUTERS INC (666)</b>							
13552	1	Invoice	COMPUTER MAINTENAN	06/05/2016	205.00		01.21.512.00
Total WIZARD COMPUTERS INC (666):					205.00		
Grand Totals:					392,165.17		

Report GL Period Summary

Vendor number hash: 7098717  
 Vendor number hash - split: 8421453  
 Total number of invoices: 129  
 Total number of transactions: 176

Terms Description	Invoice Amount	Net Invoice Amount
Open Terms	392,165.17	392,165.17
Grand Totals:	392,165.17	392,165.17