



JOB NO.
11817

DATE:
04/09/17

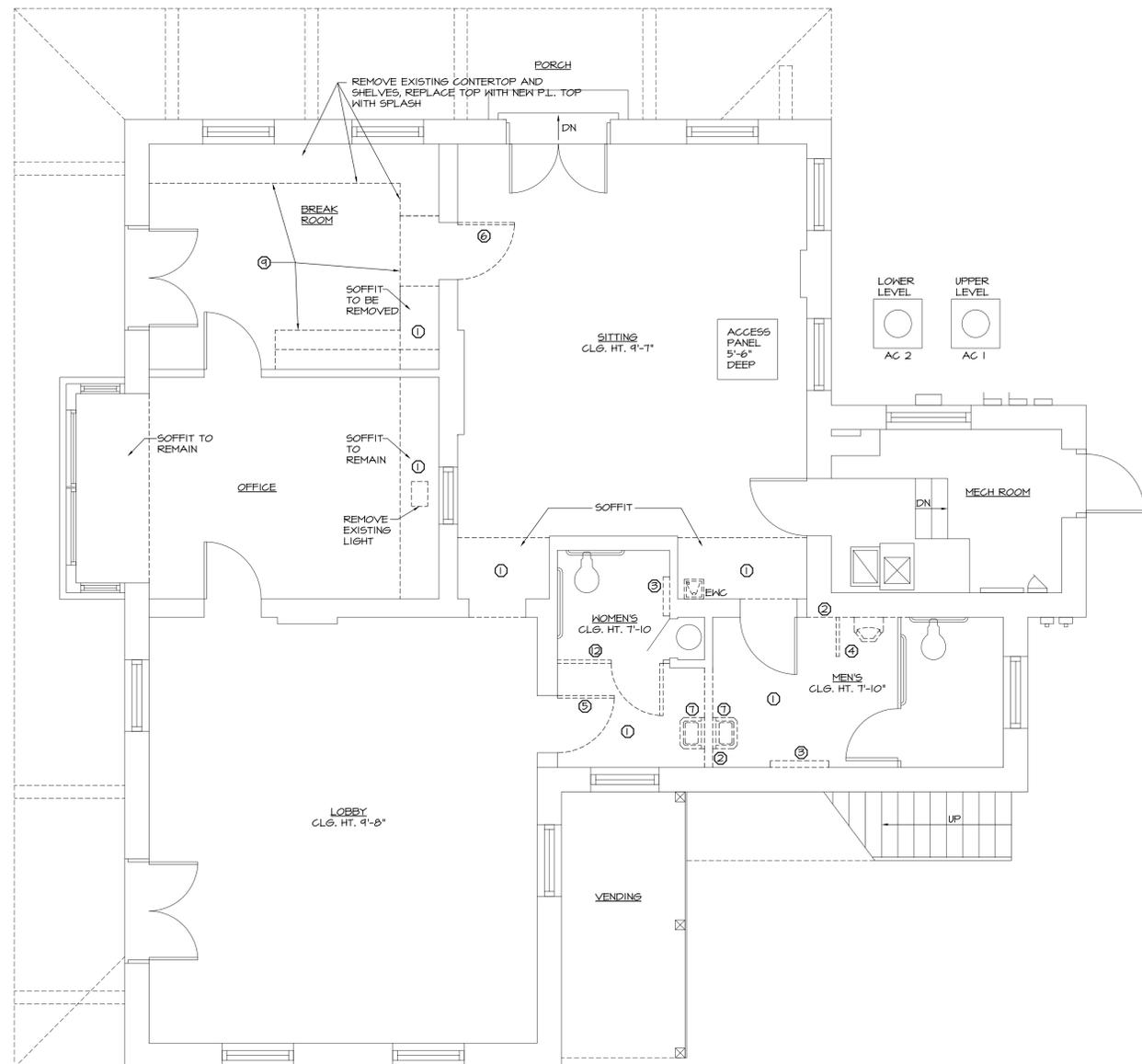
#	DATE	REVISION DESCRIPTION	BY
1	11/20	OWNER MODIFICATIONS OF REVISION SCHEDULE	

CHRISTOPHER FYE and ASSOCIATES
 ARCHITECTS + PLANNERS
 105 W. MAIN ST., SUITE 100, FREEPORT, IL 61032
 PHONE 815.233.2215 INFO@FYEARCH.COM



REMODELING WORK FOR
THE OLD TRAIN DEPOT
 101 BOUTHILLIER ST. GALENA, ILLINOIS, 61036

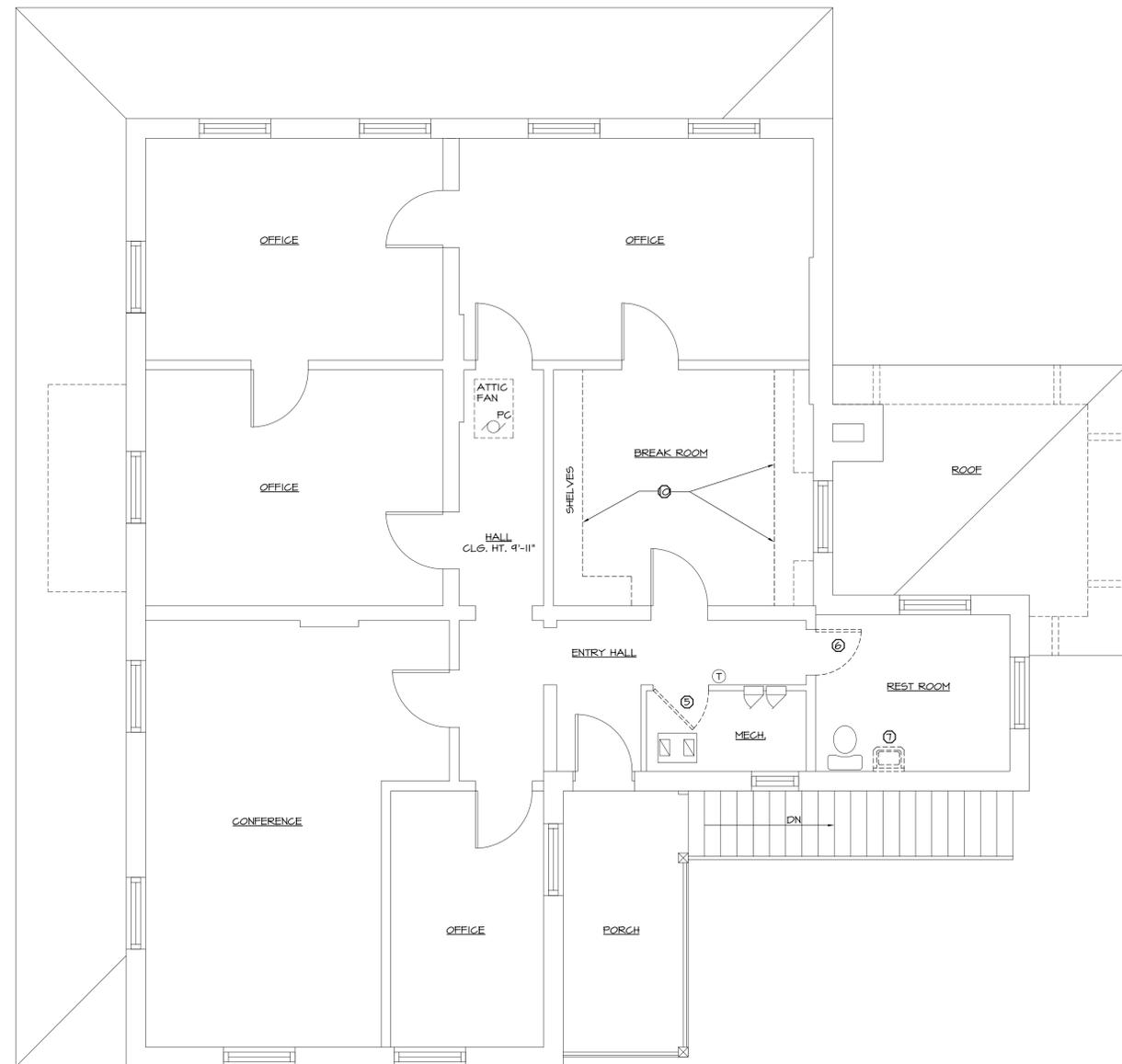
A1



1 FIRST FLOOR DEMO PLAN
 SCALE: 1/4"=1'-0"

DEMO NOTES:

1. REMOVE FINISH ON REST ROOM CEILINGS AND SOFFITS.
2. REMOVE WALL FINISH WHERE INDICATED FOR INSTALLATION OF NEW PLUMBING, SINK TO BE RELOCATED IN CENTER OF WOMEN'S R.R. AND TO RIGHT IN MEN'S R.R.
3. REMOVE BABY CHANGING STATION IN REST ROOMS AND PATCH WALL.
4. REMOVE URINAL AND SCREEN, REMOVE ELECTRIC WATER COOLER OUTSIDE MEN'S R.R.
5. REMOVE EXISTING DOOR AND REINSTALL CHANGING SHIMS.
6. REMOVE EXISTING 1ST FLOOR BREAK ROOM DOOR 2ND FLOOR REST ROOM DOOR.
7. LAVATORY, MIRROR, AND LIGHT TO BE REMOVED AND REPLACED, PATCH WALL.
8. REMOVE WOODEN PANEL IN 2ND FLOOR HALL AND PATCH TO MATCH EXISTING FINISHES.
9. REMOVE EXISTING WALL SHELVING ON NORTH SIDE OF 1ST FLOOR BREAK ROOM, REMOVE LOWER TWO TIERS OF SHELVING AND UNDERCOUNTER FRAMING ON SOUTH WALL. REMOVE SHELF FRAMING EAST WALL. REMOVE ALL COUNTERTOPS.
10. REMOVE SHELVING ON WEST AND SOUTH OF 2ND FLOOR BREAK ROOM. REMOVE BASE CABINETS FOR DISHWASHER AND SINK BASE. REMOVE EXISTING COUNTERTOP.
11. REPAIR ALL HOLES AND OPENINGS ASSOCIATED WITH HVAC REMODELING WORK.
12. REMOVE PARTITIONS IN 1ST FLOOR WOMEN'S R.R.
13. FOLLOW ALL GOVERNMENT AND ENVIRONMENTAL REQUIREMENT FOR PROTECTION OF WORKERS AND DISPOSAL OF REFUSE.



2 SECOND FLOOR DEMO PLAN
 SCALE: 1/4"=1'-0"



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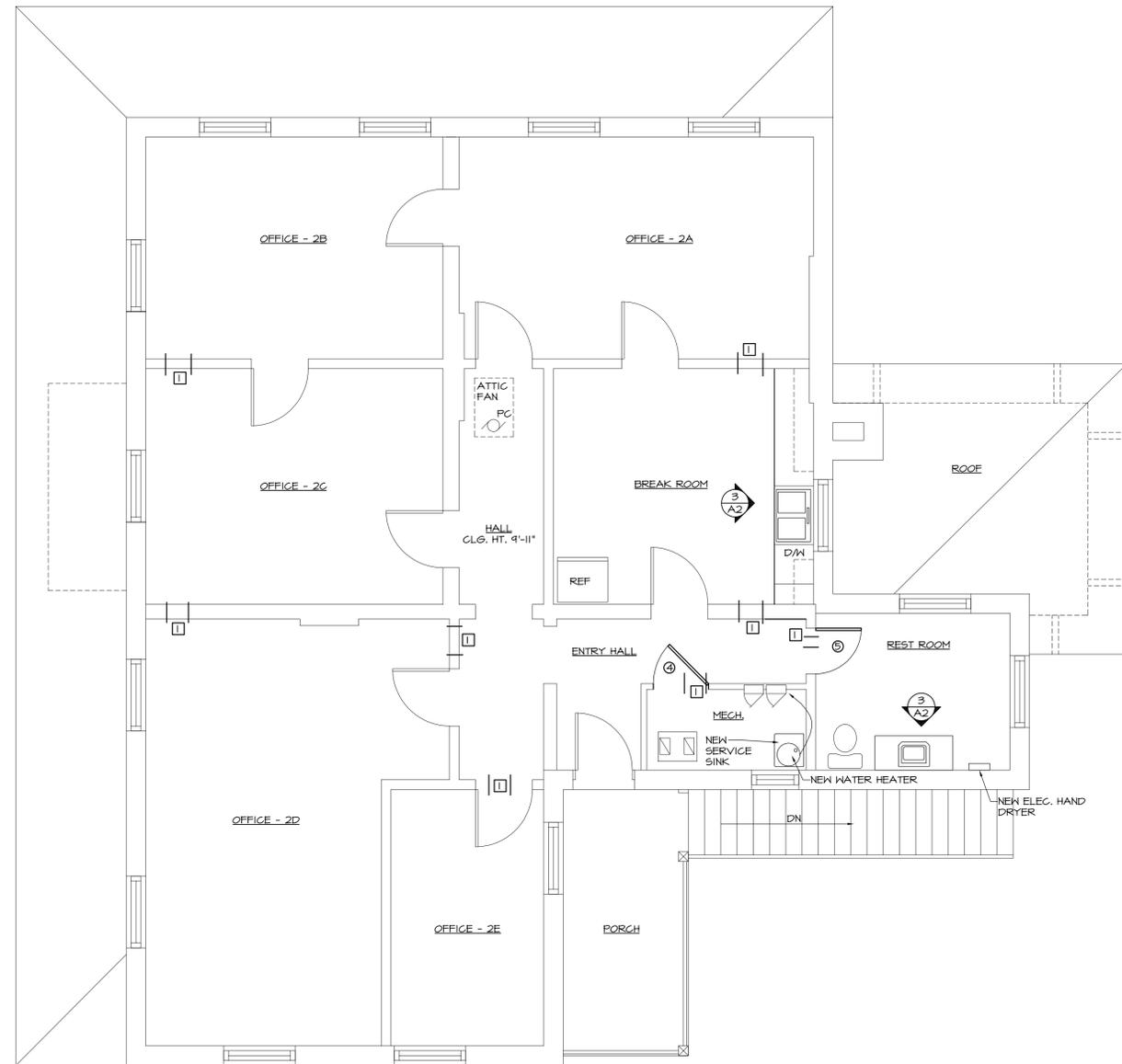
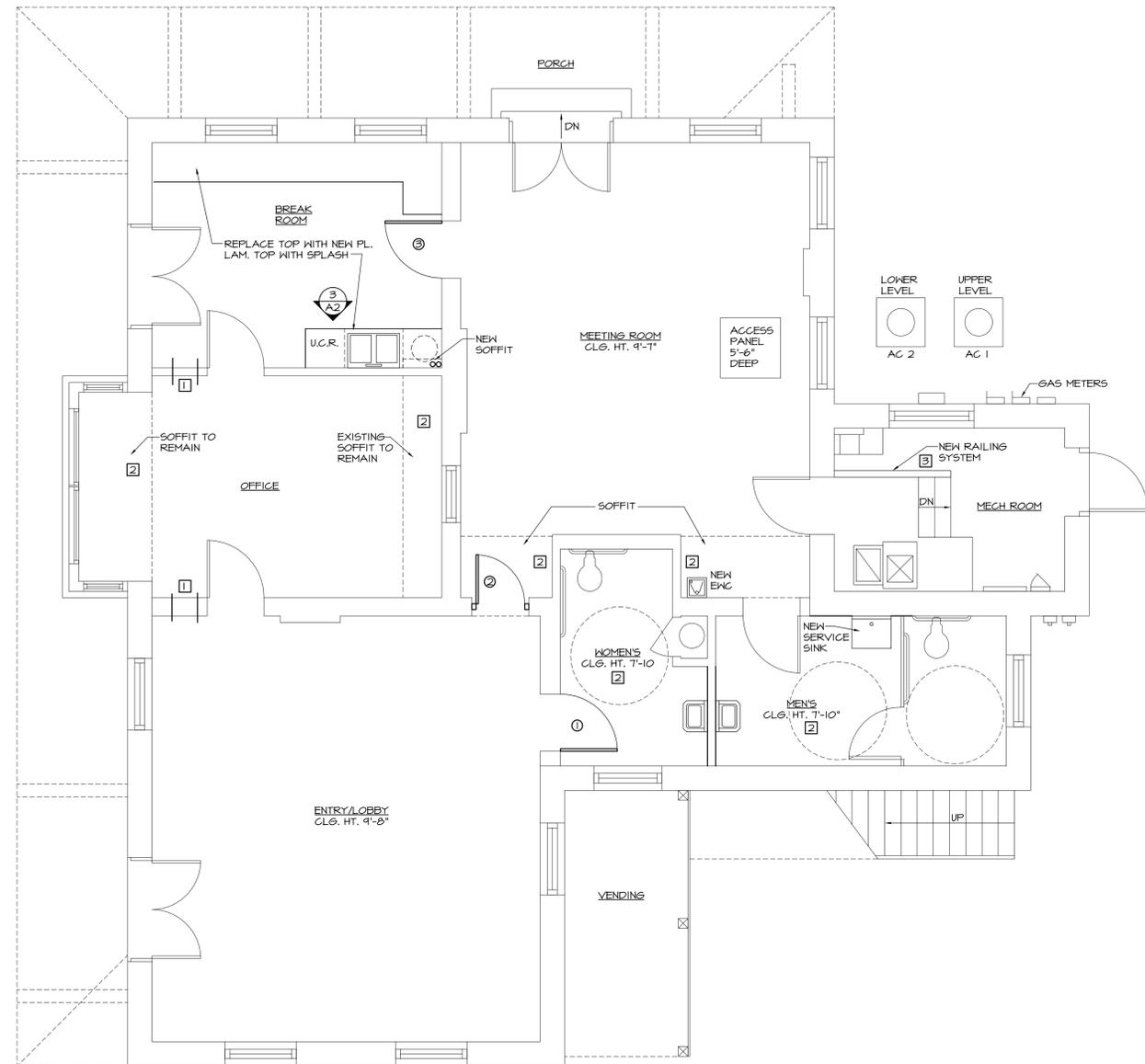
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A2



1
A2 **FIRST FLOOR CONSTRUCTION PLAN**
SCALE: 1/4"=1'-0"

2
A2 **SECOND FLOOR CONSTRUCTION PLAN**
SCALE: 1/4"=1'-0"

CONSTRUCTION GENERAL NOTES:

- PATCH ALL EXISTING OPENINGS IN WALLS, CEILINGS, AND FLOORS ASSOCIATED WITH REMOVED HVAC SYSTEMS.
- INSTALL NEW 5/8" GWB ON REST ROOM CEILINGS, SOFFITS TO REMAIN, AND CEILING WHERE SOFFITS ARE REMOVED. NEW FINISHES TO MATCH EXISTING.
- NEW RAILINGS FOR PLATFORM IN 1ST FLOOR MECHANICAL ROOM.
- OWNER WILL PROVIDE ALL PAINT WORK (BOTH FLOORS) AND NEW FINISH FLOORINGS OR REFINISH EXISTING WOOD FLOORS FOR 2ND FLOOR.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS TO ALL WORK AREAS IN ACCORDANCE WITH RECOGNIZED HEALTH AND SAFETY REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ALL CLEANUP AT THE END OF THE PROJECT AND WILL ENSURE THAT ALL EXCESS MATERIALS ARE REMOVED FROM THE SITE.
- CONTRACTOR MUST CALL TO ARRANGE FOR ANY REQUIRED INSPECTIONS.
- CONTRACTOR MUST COORDINATE WITH ALL OTHER PROJECT CONTRACTORS TO COMPLETE PROJECT IN TIMELY, EFFICIENT, AND BUDGET-FOCUSED MANNER.

1ST FLOOR SCOPE OF WORK:

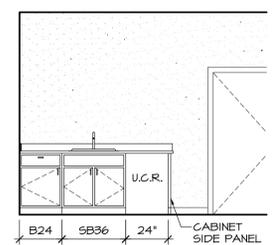
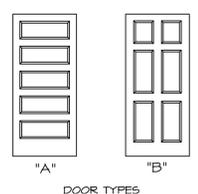
- MEN'S REST ROOM:**
- PATCH HOLES FROM PREVIOUS LAVATORY, MIRROR, AND LIGHT POSITIONS IN ALL REST ROOMS.
 - PROVIDE AND REPLACE DOOR HANDLE ON MEN'S REST ROOM DOOR (SCHLAGE F40-ACC-CAM MATTE AGED BRONZE - PRIVACY).
 - EXISTING URINAL TO BE REMOVED AND REPLACED WITH SERVICE SINK. INSTALL SERVICE SINK ON PLATFORM CONSTRUCTED WITH 2X6 STUDS - 16" O.C. WITH 3/4" PLYWOOD GAP. PROVIDE TILED BASE AT PERIMETER OF PLATFORM. PATCH WALLS AS NEEDED.
- WOMEN'S REST ROOM:**
- PATCH HOLES FROM PREVIOUS LAVATORY, MIRROR, AND LIGHT POSITIONS IN ALL REST ROOMS.
 - PROVIDE AND INSTALL NEW MIRROR CENTERED OVER SINK AND UNDER VANITY LIGHT (36" X 48" PENCIL POLISHED MIRROR).
 - PROVIDE AND REPLACE DOOR HANDLE ON WOMEN'S REST ROOM DOOR (SCHLAGE F40-ACC-CAM MATTE AGED BRONZE - PRIVACY).
 - CHANGE DOOR SWING DIRECTION TO OPEN FROM SOUTH SIDE AND TO THE INSIDE OF THE REST ROOM.
- BREAK ROOM:**
- CONTRACTOR TO PROVIDE AND INSTALL CABINETRY FOR UNDER COUNTER ON SOUTH WALL (SEE ELEVATION 3/A2).
 - PROVIDE AND INSTALL NEW LAMINATE STOCK COUNTERTOP WITH 4" BACKSPLASH AND CABINETRY.
 - UNDERCOUNTER SHELVING ON THE NORTH SIDE TO REMAIN.
 - REFER TO PLANS FOR PLACEMENT OF NEW COUNTERTOP, WHICH WILL RUN ALONG THE NORTH AND SOUTH WALLS ONLY.
- MEETING ROOM:**
- PROVIDE AND INSTALL NEW DOORS, FRAMES, AND TRIM. SEE DOORS #2 AND #3.
 - PROVIDE AND INSTALL AUTO DOWN SWEEP ON DOOR #2. EQUAL TO QUIET DOOR AUTOMATIC DOOR SWEEP BY SOUNDCONTROL.
 - PATCH OPENINGS AS NEEDED.
- MECHANICAL ROOM:**
- PROVIDE AND INSTALL RAILING ON PLATFORM PER PLANS.

DOOR SCHEDULE

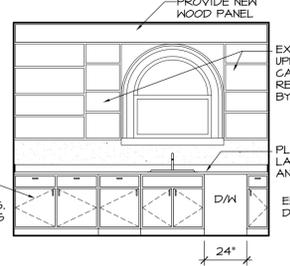
SYMBOL	DOOR				FRAME				REMARKS			
	SIZE	TYPE	MATERIAL	HARDWARE	SIZE	MATERIAL						
1	3'0"X7'0"	EXISTING	A	EXISTING	WOOD	EXISTING	SEE SCOPE OF WORK NOTES	3/4"X4 1/2"	EXISTING	WOOD	EXISTING	RESINING DOOR
2	•	•	•	•	•	•	•	•	•	•	•	5 PANEL/AUTO DOWN SWEEP
3	•	•	•	•	•	•	•	•	•	•	•	5 PANEL
4	•	•	•	•	•	•	•	•	•	•	•	RESINING DOOR
5	•	•	•	•	•	•	•	•	•	•	•	6 PANEL

NOTES:

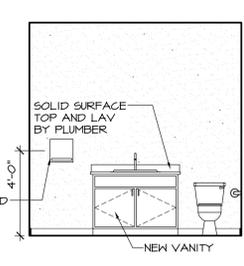
- VERIFY DOOR HEIGHT ON SITE AND WITH OWNER.
- ALL NEW DOORS TO BE SOLID-CORE DOORS.



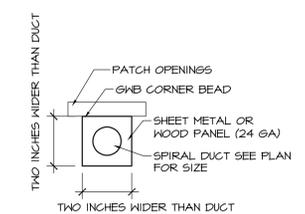
1ST FLOOR BREAK ROOM



2ND FLOOR BREAK ROOM

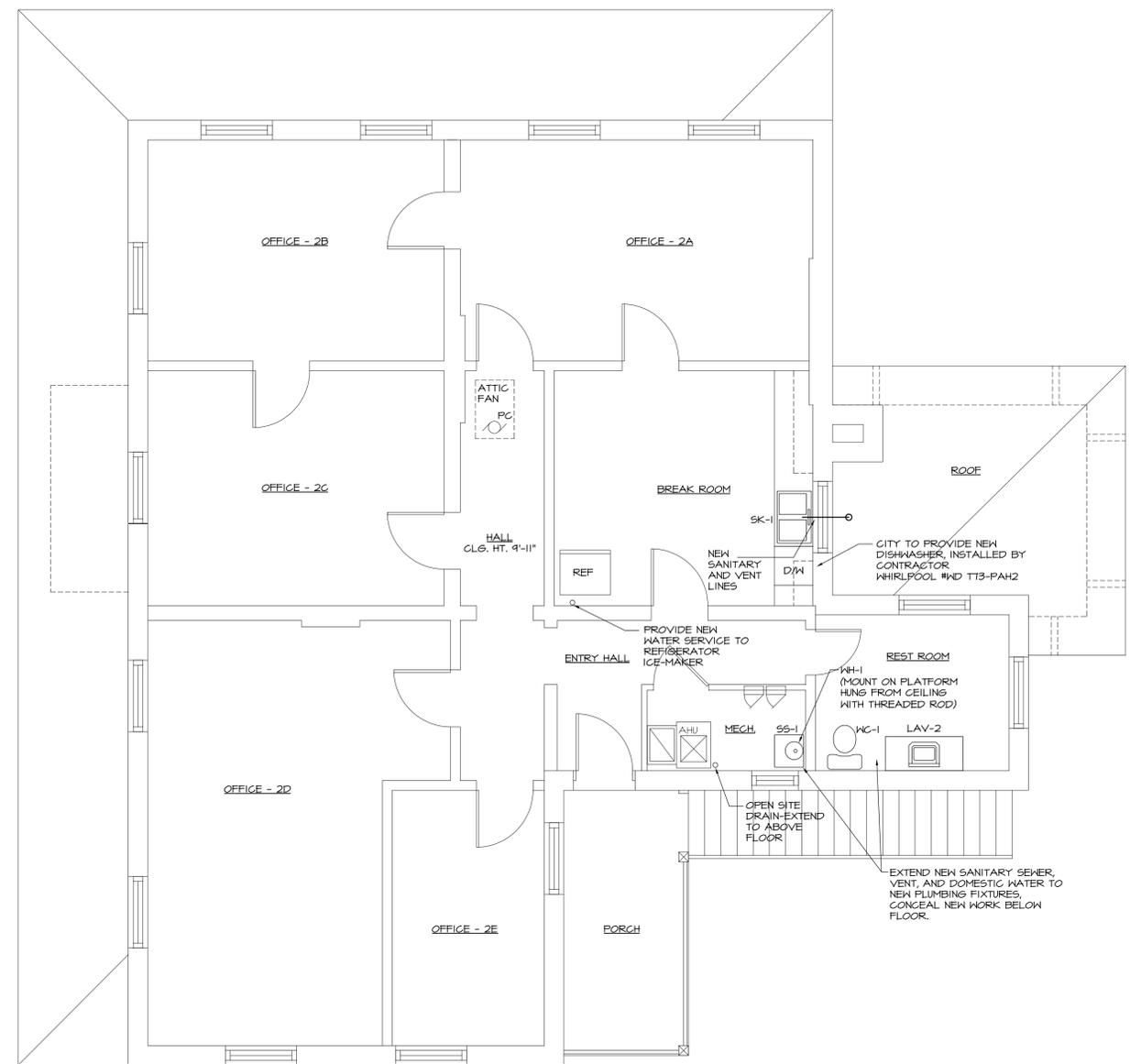
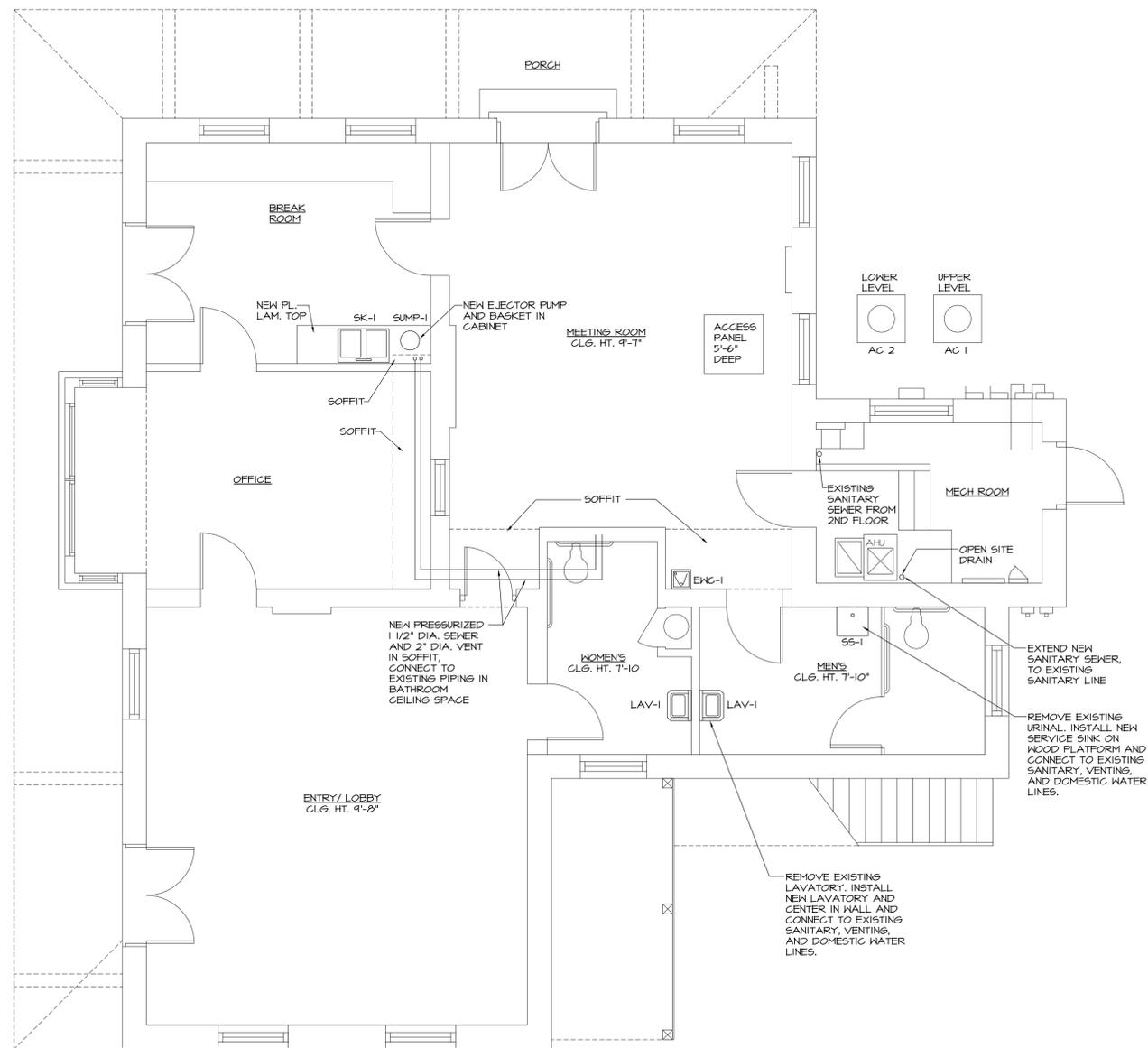


2ND FLOOR REST ROOM



4
A2 **DUCTWORK MASONRY OPNG. DTL.**
SCALE: 1/2"=1'-0"

3
A2 **CABINET ELEVATIONS**
SCALE: 1/4"=1'-0"



1
PI 1ST FLOOR PLUMBING PLAN
 SCALE: 1/4"=1'-0"

1ST FLOOR PLUMBING SCOPE OF WORK:
 1. REPAIRS HAVE BEEN MADE TO EXISTING PLUMBING FOLLOWING FROZEN PIPES AND THAW IN DECEMBER 2016. WATER HAS BEEN REINSTATED FOR SEVERAL MONTHS AND NO ADDITIONAL ISSUES HAVE BEEN DETECTED. PLUMBING CONTRACTOR TO LOOK FOR ANY CONCERNS WHICH MAY NOT HAVE PREVIOUSLY BEEN VISIBLE AS WALLS ARE OPENED UP.

MEN'S REST ROOM:
 1. MOVE SINK PLUMBING TO THE RIGHT, AWAY FROM LEFT FACING WALL AND INSTALL PER ILLINOIS ACCESSIBILITY CODE. EXTEND PIPING AS NECESSARY.
 2. PROVIDE AND INSTALL NEW SINK AND FAUCET. SEE PLUMBING SCHEDULE.
 3. REMOVE URINAL AND DISPOSE OF OLD FIXTURE.
 4. A NEW SERVICE SINK WILL BE INSTALLED IN PREVIOUS URINAL LOCATION. PROVIDE AND INSTALL SERVICE SINK ON PLATFORM CONSTRUCTED WITH 2X6 STUDS - 16" O.C. WITH 3/4" PLYWOOD CAP. PROVIDE TILED BASE AT PERIMETER OF PLATFORM. CONSTRUCTION CONTRACTOR TO PATCH WALL AS NEEDED.
 5. CONTRACTOR TO CLEAN AND VERIFY W/C OF WORKING OPERATION.

WOMEN'S REST ROOM:
 1. MOVE SINK PLUMBING TO THE LEFT FROM CURRENT POSITION, SO SINK WILL BE CENTERED ON EXISTING WALL. INSTALL PER ILLINOIS ACCESSIBILITY CODE. EXTEND PIPING AS NECESSARY.
 2. PROVIDE AND INSTALL NEW SINK AND FAUCET. SEE PLUMBING SCHEDULE.
 3. CONTRACTOR TO CLEAN AND VERIFY W/C OF WORKING OPERATION.

BREAK ROOM:
 1. PROVIDE AND INSTALL NEW SINK IN NEW COUNTERTOP (INSTALLED BY OTHERS). CONSTRUCTION CONTRACTOR WILL ALSO BE MODIFYING LOWER SHELVING AND INSTALLING CABINETS TO ACCOMMODATE PLUMBING AND AN UNDERCOUNTER REFRIGERATOR.
 2. PROVIDE AND INSTALL NEW SEWAGE EJECTOR PUMP AND MINI SUMP BASKET LOCATED IN BASE CABINET.
 3. EXTEND VENT PIPING THROUGH SOFFIT TO SANITARY AND VENT PIPING IN CEILING OF REST ROOMS.

MEETING ROOM:
 1. REMOVE CURRENT ELECTRIC WATER COOLER. PROVIDE AND INSTALL ELKAY WATER BOTTLE FILLING STATION IN SAME LOCATION.

MECHANICAL ROOM:
 1. PROVIDE OPEN SITE DRAIN FOR 1ST FLOOR AHU CONDENSATE DRAINAGE.

PLUMBING GENERAL NOTES:
 1. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS TO ALL WORK AREAS IN ACCORDANCE WITH RECOGNIZED HEALTH AND SAFETY REQUIREMENTS.
 2. PLUMBING CONTRACTOR IS RESPONSIBLE FOR ALL CLEANUP AT THE END OF THE PROJECT AND WILL ENSURE THAT ALL EXCESS MATERIALS ARE REMOVED FROM THE SITE.
 3. PLUMBING CONTRACTOR MUST CALL TO ARRANGE FOR ALL STATE AND LOCAL PLUMBING INSPECTIONS AS REQUIRED.
 4. PLUMBING CONTRACTOR MUST COORDINATE WITH ALL OTHER PROJECT CONTRACTORS TO COMPLETE PROJECT IN TIMELY, EFFICIENT, AND BUDGET-FOCUSED MANNER.

2
PI 2ND FLOOR PLUMBING PLAN
 SCALE: 1/4"=1'-0"

2ND FLOOR PLUMBING SCOPE OF WORK:
 1. REPAIRS HAVE BEEN MADE TO EXISTING PLUMBING FOLLOWING FROZEN PIPES AND THAW IN DECEMBER 2016. WATER HAS BEEN REINSTATED FOR SEVERAL MONTHS AND NO ADDITIONAL ISSUES HAVE BEEN DETECTED. PLUMBING CONTRACTOR TO LOOK FOR ANY CONCERNS WHICH MAY NOT HAVE PREVIOUSLY BEEN VISIBLE AS WALLS ARE OPENED UP.

REST ROOM:
 1. PROVIDE AND INSTALL NEW SOLID SURFACE VANITY AND FAUCET, IN SAME LOCATION, REPLACING EXISTING VANITY.
 2. PROVIDE AND INSTALL NEW TOILET IN EXISTING LOCATION, REPLACING CURRENT FIXTURE.
 3. EXTEND NEW SANITARY SEWER, VENT, AND DOMESTIC WATER TO NEW PLUMBING FIXTURES. CONCEAL NEW WORK BELOW FLOOR.

BREAK ROOM:
 1. BREAK ROOM CURRENTLY HAS INACTIVE/CAPPED PLUMBING LINES, REFER TO PLANS FOR NEW PIPING AND ACCESS TO WATER HEATER.
 2. EXTEND PIPING TO AND FROM EXISTING MECHANICAL ROOM. NEW 2ND FLOOR PIPING TO BE EXTENDED FROM EXISTING SYSTEMS.
 3. CABINETS AND COUNTERTOPS TO BE INSTALLED BY SEPARATE GENERAL CONTRACTOR. COORDINATE WITH CONTRACTOR TO INSTALL NEW KITCHEN SINK AND FAUCET IN EXISTING LOCATION, REPLACING CURRENT FIXTURE.
 4. PROVIDE AND INSTALL NEW SANITARY VENT LINES.
 5. PROVIDE AND INSTALL PLUMBING FOR ICE/WATER DISPENSING REFRIGERATOR ON SOUTH WALL.
 6. INSTALL NEW BUILT-IN DISHWASHER AS INDICATED ON PLANS.

MECHANICAL ROOM:
 1. PROVIDE AND INSTALL FLOOR-MOUNTED SERVICE SINK AS INDICATED ON PLANS. EXTEND EXISTING 2ND FLOOR OPEN SITE DRAIN ABOVE FLOOR IN MECHANICAL ROOM.
 2. PROVIDE AND INSTALL ELECTRIC WATER HEATER ABOVE FLOOR-MOUNTED SERVICE SINK ON BRACKET HUNG FROM CEILING STRUCTURE FROM THREADED ROD.
 3. PROVIDE AND INSTALL T&P RELIEF VALVE AND PIPE TO FLOOR DRAIN.

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PLUMBING NOTES:

- CONTRACTOR TO VERIFY ALL PLUMBING CONNECTIONS WITH COUNTY AND STATE BUILDING REGULATIONS AND ORDINANCES.
- PLUMBING CONTRACTOR TO COORDINATE LAYOUT AND RUNS WITH ALL OTHER TRADES TO ESTABLISH CLEARANCES TO AVOID CONFLICTS PRIOR TO INSTALLATION OF PIPING.
- CONTRACTOR TO VERIFY ALL EXISTING PLUMBING CONDITIONS ON SITE PRIOR TO BIDDING. NO ADDITIONAL CHARGES WILL BE ALLOWED FOR FAILURE TO FIELD VERIFY.

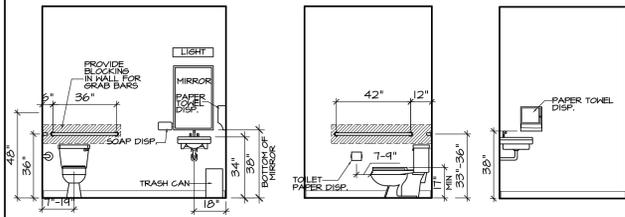
ELECTRIC WATER HEATER SCHEDULE

MARK	MANUFACTURER	MODEL NO.	STORAGE CAPACITY (GALLONS)	ELECTRIC ELEMENT				REMARKS
				WATTS	VOLT	PH	STAGES	
WH-1	A.O. SMITH	EJC-10	10	1650W	120	1	1	NOTE 1

- WATER HEATER NOTES:**
- PROVIDE T & P RELIEF VALVE AND PIPE TO FLOOR DRAIN.
 - VERIFY KW REQUIREMENTS AT SITE.
 - 1/4" HIGH AND 1/2" DIAMETER AND 45 LBS.
 - WATER HEATER IN 2ND FLOOR MECHANICAL ROOM TO BE INSTALLED ABOVE FLOOR MOUNTED SERVICE SINK ON BRACKET HUNG FROM CEILING STRUCTURE FROM THREADED ROD.

RESTROOM ACCESSORIES INSTALLATION STANDARDS

Item	Qty	Mounting Height	Remarks
TOILET PAPER DISP.	1	18" MIN. TO CENTER OF UNIT	
SOAP DISP.	1	38" TO BOTTOM OF UNIT	
PAPER TOWEL DISP.	1	38" TO BOTTOM OF UNIT	
GRAB BAR	2	33"-36" TO CENTER OF BAR	(1) 42" (1) 36"
MIRROR	1	38" TO BOTTOM OF UNIT	
SAFETY COVERS	1	ON EXPOSED PIPING	WHITE TRUBRO LAV-GUARD
LAV	1	34" TO TOP OF UNIT	
W/C	1	18" MIN.	PROVIDE ADA W/C
URINAL	1	17" MAX. TO RIM.	PROVIDE ADA ELONGATED RIM UNIT & ADA HT. LEVER



GENERAL NOTE:
RESTROOM ARRANGEMENT WHICH MEETS REQUIREMENTS OF THE ACCESSIBILITY CODE. THIS IS INTENDED TO BE REPRESENTATIVE ONLY AND TO SHOW CRITICAL REQUIREMENTS. OTHER ACCEPTABLE ARRANGEMENTS ARE POSSIBLE. ANSI SEC. 4.2.2.2 REQUIRES THAT THE DOOR SHALL COMPLY WITH SEC. 4.13 AND THE DOOR MAY SWING INTO THE CLEAR SPACE REQUIRED FOR ANY FIXTURE ONLY IN A TOILET ROOM OR BATHROOM FOR INDIVIDUAL USE THAT PROVIDES SUFFICIENT MANEUVERING SPACE WITHIN THE ROOM FOR A PERSON USING A WHEELCHAIR TO ENTER AND CLOSE THE DOOR, USE THE FIXTURES, REOPEN THE DOOR, AND EXIT. PROVIDE HANDICAPPED SIGNAGE FOR THE REST ROOM. INSTALL AT 5'-0" TO CENTER OF THE SIGN ON THE STRIKE SIDE OF THE DOOR. HAGER 365M AND 365N OR EQUAL.

PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTION	UTILITIES			
		CN	HN	DR	VENT
LAV-1	KOHLER BRENHAM K197-9-0 WALL HUNG PORCELAIN LAVATORY IN WHITE, DELTA VICTORIAN LAV FAUCET MODEL #35455-RB-DST W/ 3 HOLE 8" INSTALLATION, LESS POP UP, LESS LIFT ROD, HIGH TEMP LIMIT STOP, K-T115 PERFORATED GRID DRAIN W/ 1/4" TAILPIECE, CHROME, INCLUDE W/ FAUCET SET, WRAP PIPES WITH TRUE-BRO PIPE COVERS	1/2"	1/2"	1 1/2"	1-1/2"
LAV-2	US MARBLE STEEL GREY ON WHITE GLOSS CULTURED MARBLE UNDERMOUNT SINGLE 48" X 21" TOP WITH INTEGRAL SINK LAVATORY, MODEL #41810T4, DELTA VICTORIAN 2-LEVER HANDLE WIDESPREAD LAV FAUCET MODEL #35455-RB-DST W/ 6" ELBOW HANDLE, VANDAL RESISTANT, 2 HOLES, LESS POP UP, LESS LIFT ROD, HIGH TEMP LIMIT STOP, K-T115 PERFORATED GRID DRAIN W/ 1/4" TAILPIECE, CHROME, INCLUDE W/ FAUCET SET, GENERAL CONTRACTOR TO PROVIDE DIAMOND FRESHFIT PALENCIA WHITE VANITY CABINET (MODEL #20R VSDB49)	1/2"	1/2"	1 1/2"	1-1/2"
WC-1	KOHLER HIGHLINE COMFORT HEIGHT, 2 PIECE, ELONGATED, 1.28 GPF WATER CLOSET MODEL #K-3444-0 W/ BEMIS SEAT WITH LID	1/2"		4"	3"
EW-1	ELKAY MODEL #E250MSLK EZH20, WATER BOTTLE FILLING STATION TO REPLACE EXISTING WATER COOLER	1/2"			
55-1	MOP SINK BASIN - 24X24 MUSTIE MODEL #63M, MOLDED STONE MOP BASIN, FLOOR MOUNTED; FAUCET: T & S BRASS FAUCET #B-0661-POL SERVICE SINK FITTINGS W/ VACUUM BREAKER, 3/4" HOSE OUTLET, WALL BRACE AND PAIL HOOK; HOSE & HOSE BRKT, MOP HANGER, #62-24G WALL GUARD (OR EQUAL FAUCET BY CHICAGO FAUCET)	3/4"	3/4"	1 1/2"	1 1/2"
SK-1	KOHLER, "CADENCE" MODEL# K-3145-4-NA, 55 DOUBLE BASIN SINK 8" DEEP, 20 GA, WITH DELTA MODEL#400 KITCHEN SINK FAUCET. PROVIDE BASKET STRAINER, 1 1/2 TAILPIECE AND TRAP ESCUTCHEON, CHROME PLATED FLEXIBLE BRASS RISERS AND ANGLE VALVE STOPS	1/2"	1/2"	1 1/2"	1 1/2"
SUMP 1	SEWAGE EJECTOR PIT AND PUMP ZOELLER PUMP CO, MODEL #105-0001 DRAIN PUMP SERIES WITH #105 UNDER CABINET BASIN (1/2" DIA X 12 1/2" DEEP/ 1 1/2" DISCHARGE CAPACITY W/ 2" VENT, AND MODEL #53 PUMP 1/2 HP, 120V, 1 PH, 60 HZ, 1550 RPM W/ AUTOMATIC FLOAT OPERATED MECHANICAL SWITCH			2"	1 1/2"
OPEN SITE DRAIN	OPEN SITE PVC DRAIN WITH TRAP 4" DIA. REDUCE TO 2" PVC DRAIN AND CONNECTED TO EXISTING SANITARY SYSTEM			2"	1 1/2"
FD *	FLOOR DRAIN - CAST IRON BODY, BOTTOM OUTLET, SEPARATE P-TRAP, NICKEL BRONZE, 4" SQUARE STRAINER, VANDAL-PROOF SCREWS, SLOUX CHIEF 833-21PFG			2"	1 1/2"
CO	CLEAN-OUT BRASS PLUS, ROUND STAINLESS STEEL ACCESS COVERPLATE W-8470-R.				

* IF REQUIRED BY THE PLUMBING CODE FOR 2ND FLOOR REST ROOM.

PROCEDURES

- ALL SUSPENDED HORIZONTAL PIPING SHALL BE SUPPORTED BY HANGERS SPACED NO FURTHER THAN 8'-0" APART (4'-0" FOR PVC). NO PIPING SHALL BE SELF-SUPPORTING, NOR BE SUPPORTED FROM EQUIPMENT CONNECTIONS.
- ALL PARALLEL PIPES (TWO OR MORE) SHALL BE SUPPORTED ON A CHANNEL TYPE TRAPEZE HANGER.
- SUPPORTS AND HANGERS SHALL BE INSTALLED TO PERMIT FREE EXPANSION AND CONTRACTION IN PIPING SYSTEMS UNLESS PIPE REQUIRES FIRM ANCHOR CONTROL.
- HORIZONTAL SOIL OR WASTE LINES SHALL BE AT A SLOPE OF NOT LESS THAN 1/8" PER FOOT AND SHALL BE HELD CLOSE TO THE CONSTRUCTION TO MAINTAIN A MAXIMUM OF HEAD ROOM. ALL CHANGES OF DIRECTION AND JUNCTIONS SHALL BE MADE WITH "Y" FITTINGS AND 1/8" BENDS. ALL DRAIN LINES SHALL BE PROTECTED FROM FREEZING.
- HOT AND COLD WATER PIPING SHALL BE PROPERLY PITCHED TO LOW POINTS IN THE SYSTEM WHERE DRAINS SHALL BE INSTALLED.
- CLEANOUTS SHALL BE PLACED AT ALL DEAD ENDS, AT CHANGES OF DIRECTION, AT 50'-0" INTERVALS ON HORIZONTAL RUNS, OUT OF HIGH TRAFFIC AREAS (NOT UNDER EQUIPMENT), ETC., WHERE CLEANOUTS OCCUR IN CONCEALED SPACES, THEY SHALL BE PROVIDED WITH EXTENSIONS TO FLOOR ABOVE OR TO WALLS. A HAND-HOLE TEST TEE SHALL BE PLACED AT THE BASE OF EACH STACK.
- VENT STACKS SHALL BE CONNECTED TO VENTS THROUGH ROOF.
- ALL SUPPLY PIPING TO BE RUN OVERHEAD, UNLESS OTHERWISE NOTED.
- ALL SUPPLY PIPING TO EQUIPMENT SHALL BE A MINIMUM OF 1/2" DIA.
- EACH FIXTURE WILL HAVE A 3/4" X 12" AIR CHAMBER.
- PROVIDE SERVICE VALVES AT BRANCHES AND ALL EQUIPMENT.
- ALL FIXTURES WILL BE FURNISHED WITH INTEGRAL STOPS.
- ALL FLOOR DRAINS AND FIXTURES TO BE VENTED AS REQ'D BY LOCAL CODES.
- ALL HORIZONTAL VENT PIPING SHALL BE RUN ABOVE FINISHED CEILING OR IN FURRED WALL AND SLOPED UP TOWARD MAIN STACK.
- HORIZONTAL DRAINAGE PIPING SHALL BE PITCHED NOT LESS THAN 1/4" PER FOOT FOR PIPING 3" DIA. AND UNDER.
- HORIZONTAL DRAINAGE PIPING SHALL BE PITCHED NOT LESS THAN 1/8" PER FOOT FOR PIPING 4" DIA. AND OVER.
- ALL EQUIPMENT DEVICES SHALL BE INSTALLED WITH UNIONS IN SUCH A MANNER TO FACILITATE EASY REMOVAL AND MAINTENANCE OF EQUIPMENT WITHOUT DISRUPTING SERVICE AND CAUSING MAJOR PIPING REVISIONS.
- VERIFY LOCATION OF EXISTING BUILDING SANITARY SEWER CONNECTIONS BEFORE WORK BEGINS.
- PROVIDE HOSE BIB IN MECHANICAL ROOM WITH HOSE CONNECTION. PROVIDE 3/4" COLD WATER FEED. PLUMBER TO LOCATE.
- EXPAND TRAPPED OPEN SITE DRAIN(S) TO 4" ABOVE FLOOR & PROVIDE SCREEN.

MATERIALS

- ALL MATERIALS SHALL BE NEW, OF FINEST QUALITY AND UL LISTED FOR THE SPECIFIC DESIGN PURPOSE.
- SANITARY PIPING SHALL BE SCHEDULE 40 PVC AS PERMITTED BY LOCAL CODE AUTHORITIES.
- PROVIDE 3/4" MAIN SUPPLY LINES.
- THREADED FITTINGS ON GALVANIZED STEEL PIPING SHALL BE 150# CLASS GALVANIZED MALLEABLE IRON FITTINGS CONFORMING TO ASTM A-191 SPECIFICATIONS.
- FURNISH AND INSTALL UNIONS WHERE INDICATED OR NECESSARY FOR REPAIR OF SERVICE. UNIONS 2" AND SMALLER SHALL BE STANDARD GROUND JOINT BRASS TO IRON SEAT, MALLEABLE IRON, SCREWED, UNIONS 2-1/2" LARGER SHALL BE STANDARD CAST IRON FLANGED UNIONS 125# CLASS.
- VALVES SHALL BE MANUFACTURED BY CRANE OR STOCKHAM.
- PIPE INSULATION AT ALL PIPE HANGERS SHALL CONSIST OF INSUL-SHIELD FIBERGLASS PIPE SUPPORTS AS MANUFACTURED BY INSUL-COUSTIC OR ARCHITECT/ENGINEER APPROVED EQUAL. DOMESTIC HOT AND COLD WATER SUPPLY PIPING SHALL BE INSULATED WITH ONE OF THE FOLLOWING (INSTALL PER MFR. RECOMMENDATIONS):
 - 1" THICK PREFORMED FIBERGLASS WITH "K" FACTOR OF 0.23 MAX. AT 75°F MEAN TEMPERATURE. JACKET TO BE FACTORY APPLIED KRAFT PAPER WITH VAPOR BARRIER.
 - 1" THICK MOLDED RIGID PHENOLIC FOAM WITH "K" FACTOR OF 0.23 MAX. AT 75°F MEAN TEMPERATURE. JACKET TO BE FACTORY APPLIED LAMINATED ALUMINUM FOIL AND WHITE KRAFT PAPER WITH VAPOR BARRIER.
- HANGERS SHALL BE STANDARD WEIGHT STEEL OR IRON ROD, RING OR CLEVIS TYPE.
- PREPACKAGED UNDERCOUNTER SEWAGE EJECTOR SUMP SYSTEM.
 - SEE FIXTURE SCHEDULE FOR SUMP AND PUMP SYSTEM. TO BE INSTALLED IN EXISTING CABINET SYSTEM WITH PRESSURE AND VENT SYSTEM INSTALLED IN SOFFIT AND CONNECTED TO EXISTING SEWER AND VENT LINES IN EXISTING BATHROOM CEILING. COORDINATE W/ GENERAL CONTRACTOR.
 - ELECTRICAL CONTRACTOR TO BRING A DEDICATED CIRCUIT TO PUMP PANEL & RUN WIRING TO REMOTE ALARM.
 - INSTALL CHECK VALVE, UNION & GATE VALVE IN PUMP DISCHARGE, RISE W/ 1/2" DISCHARGE TO DIRECT CONNECTION TO NEW SANITARY SEWAGE LINE.

JOB NO. 11817

DATE: 04/09/17

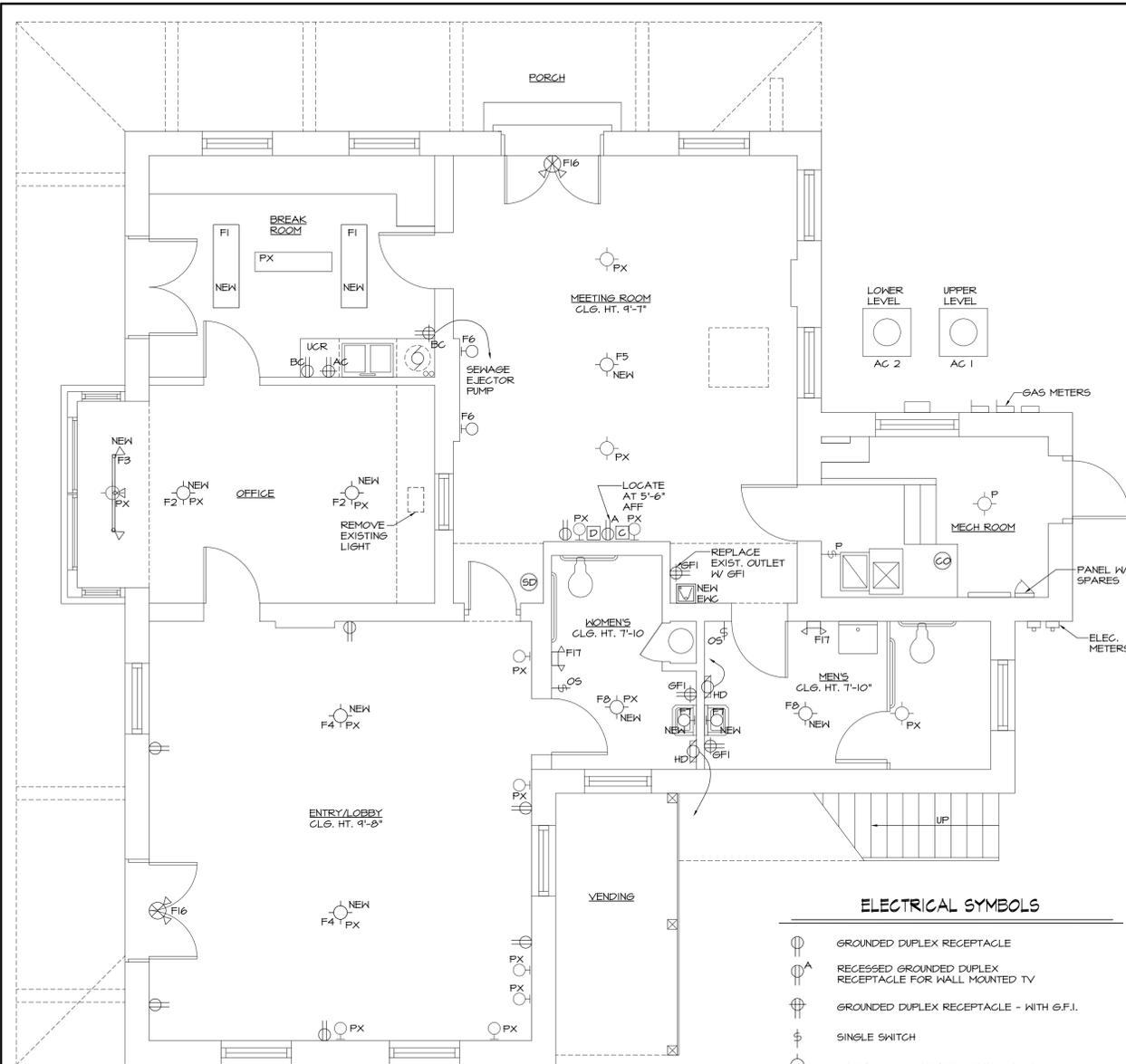
#	DATE	REVISION	DESCRIPTION	BY
11/20		OWNER MODIFICATIONS		
		REVISION SCHEDULE		

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PLUMBING WORK FOR
THE OLD TRAIN DEPOT
101 BOUTHILLIER ST. GALENA, ILLINOIS, 61036

P2



1 FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

FIRST FLOOR ELECTRICAL SCOPE OF WORK:
 1. ALL LIGHTS SUPPLIED BY CITY OF GALENA.
 2. PROVIDE AND INSTALL NEW LED EXIT LIGHTING.

MEN'S REST ROOM:
 1. COORDINATE WITH PLUMBER. VANITY AND SINK WILL BE MOVED TO THE RIGHT, AWAY FROM SOUTH WALL. CENTER AND INSTALL NEW VANITY LIGHT.
 2. INSTALL NEW OVERHEAD LIGHT CENTERED IN REST ROOM.
 3. INSTALL MOTION DETECTOR SWITCH FOR LIGHTING.
 4. INSTALL NEW OUTLET AS INDICATED ON PLANS, GFI AS NEEDED.
 5. PROVIDE AND INSTALL ELECTRIC WALL HAND DRYER AS INDICATED ON PLANS.

WOMEN'S REST ROOM:
 1. COORDINATE WITH PLUMBER. VANITY AND SINK WILL BE MOVED TO THE LEFT, AWAY FROM SOUTH WALL. CENTER AND INSTALL NEW VANITY LIGHT.
 2. INSTALL NEW OVERHEAD LIGHT CENTERED IN REST ROOM.
 3. INSTALL MOTION DETECTOR SWITCH FOR LIGHTING.
 4. INSTALL NEW OUTLET AS INDICATED ON PLANS, GFI AS NEEDED.
 5. PROVIDE AND INSTALL ELECTRIC WALL HAND DRYER AS INDICATED ON PLANS.

BREAK ROOM:
 1. COORDINATE WITH PLUMBER TO PROVIDE MATERIALS AND INSTALL ELECTRICAL HOOKUP AND INSTALLATION FOR NEW SEWAGE EJECTOR PUMP AND MINI SUMP BASKET LOCATED IN BASE CABINET.
 2. COORDINATE WITH CONSTRUCTION CONTRACTOR REGARDING CABINETS AND COUNTERTOP. PROVIDE MATERIALS AND INSTALL ELECTRICAL SUPPLY/OUTLET FOR UNDERCOUNTER REFRIGERATOR.
 3. CHECK EXISTING OUTLETS AND CONVERT TO GFI IF NECESSARY. PROVIDE GFI OUTLETS.
 4. REMOVE EXISTING OVERHEAD LIGHT FIXTURE (1) AND INSTALL TWO (2) NEW LIGHT FIXTURES. COORDINATE WITH CONTRACTOR IF PATCH WORK IS NEEDED.

OFFICE:
 1. REMOVE EXISTING LIGHT FIXTURES. REPLACE WITH ONE (1) NEW LIGHT FIXTURE IN WINDOW BAY AND TWO (2) NEW LIGHT FIXTURES IN CENTER OF OFFICE.
 2. COORDINATE WITH CONSTRUCTION CONTRACTOR TO REMOVE BUT NOT REPLACE SMALL SQUARE LIGHT ABOVE FROSTED WINDOW.

ENTRY/LOBBY:
 1. REMOVE ALL EXISTING WALL SCONGES AND CONDUIT.
 2. REMOVE TWO (2) OLD CHANDELIERS AND REPLACE WITH TWO (2) NEW FIXTURES.
 3. PROVIDE AND INSTALL SIX (6) NEW OUTLETS, AS INDICATED ON PLANS.

MEETING ROOM:
 1. CONVERT ELECTRICAL OUTLET NEAR WATER FOUNTAIN TO GFI TO SUPPORT ELKAY BOTTLE FILLING STATION. PROVIDE GFI OUTLET. PLUMBER WILL REMOVE CURRENT WATER FOUNTAIN AND INSTALL NEW BOTTLE FILLING STATION.
 2. COORDINATE WITH CONSTRUCTION CONTRACTOR AND REMOVE TWO (2) EXISTING WALL SCONGES AND CONDUIT. CONDUIT TO BE REMOVED ONLY IF NOT NEEDED FOR AV EQUIPMENT ON SOUTH WALL.
 3. REMOVE TWO (2) EXISTING OVERHEAD CHANDELIERS. CONSTRUCTION CONTRACTOR TO PATCH CEILING.
 4. INSTALL ONE (1) NEW CHANDELIER IN CENTER OF ROOM AND TWO (2) NEW WALL SCONGES ON WEST WALL.
 5. PROVIDE AND INSTALL RECESSED DUPLEX RECEPTACLE CENTERED ON SOUTH MEETING ROOM WALL AT VIEWING HEIGHT. AV TECHNICIAN WILL BE INSTALLING A FLAT SCREEN TV FOR MEETING ROOM PRESENTATIONS.
 6. PROVIDE AND INSTALL STANDARD OUTLET DIRECTLY BELOW FLAT SCREEN TV AT BASEBOARD LEVEL.
 7. PROVIDE AND INSTALL NEW DATA, CABLE BOX, AND COAXIAL CAT 6 WIRING IN LOCATIONS SHOWN. NEW DATA AND CABLE BOX TO HAVE TV AND COMPUTER CONNECTION DEVICES. EXTEND DATA WIRING BACK TO "D" MARK PANEL LOCATED IN MECHANICAL ROOMS.

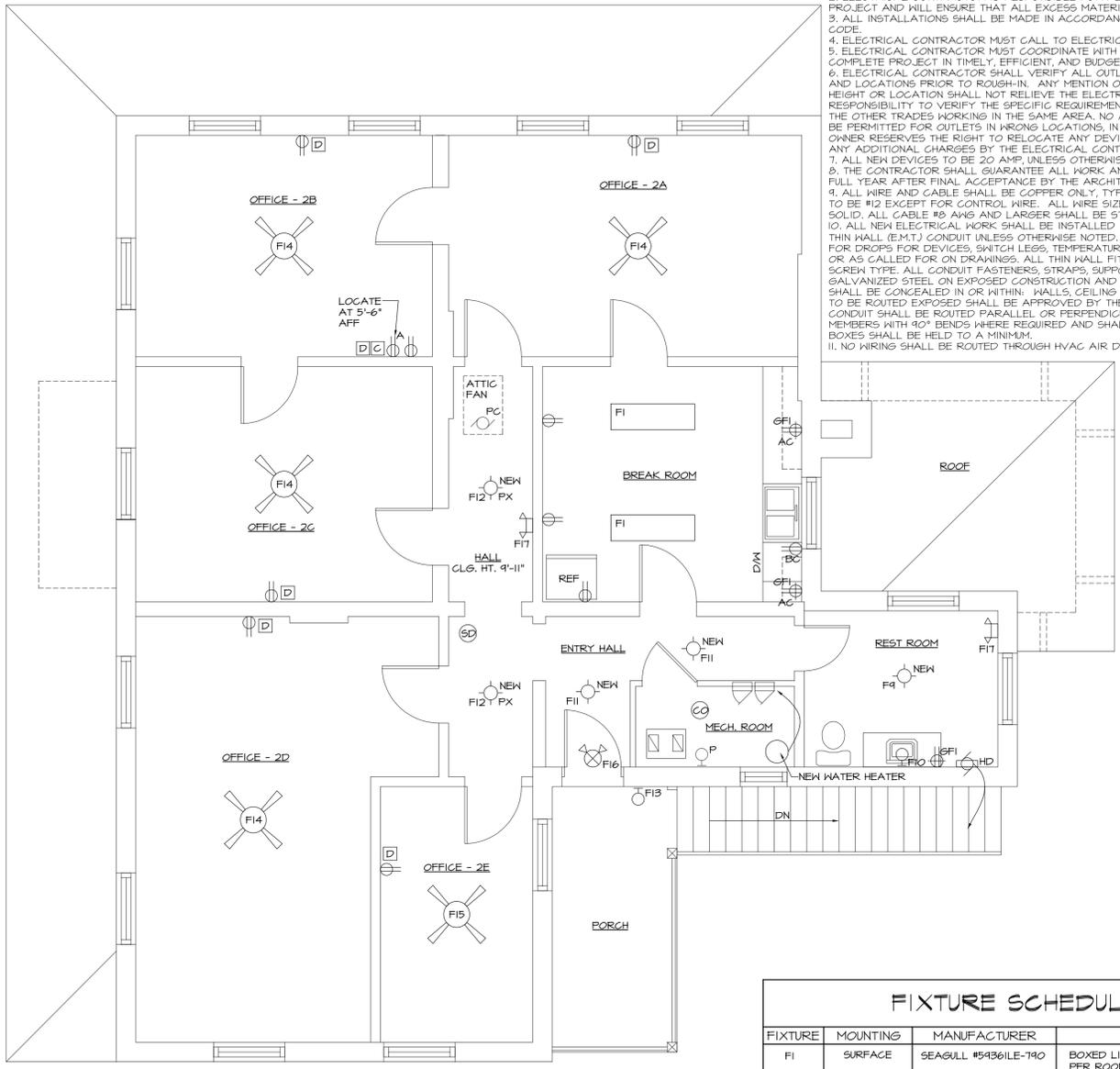
MECHANICAL ROOM:
 1. NO ELECTRIC WORK PLANNED FOR THIS SPACE.

ELECTRICAL SYMBOLS

- GROUNDED DUPLEX RECEPTACLE
- RECESSED GROUNDED DUPLEX RECEPTACLE FOR WALL MOUNTED TV
- GROUNDED DUPLEX RECEPTACLE - WITH G.F.I.
- SINGLE SWITCH
- SURFACE OR PENDANT CEILING FIXTURE
- WALL MOUNTED FIXTURE
- TRACK LIGHTING
- CEILING FAN W/ LIGHT
- SURFACE MOUNTED BOX LIGHT
- ELECTRIC MOTOR
- TELEPHONE LINE
- CABLE TV
- DATA, 3/4" PLASTIC CONDUIT STUDDED
- BATTERY EMERGENCY FIXTURE
- BATTERY EMERGENCY/EXIT FIXTURE
- SMOKE ALARM
- CARBON MONOXIDE DETECTOR

ABBREVIATIONS

- AC = ABOVE COUNTER
- AFF = ABOVE FINISHED FLOOR
- BC = BELOW COUNTER
- HD = ELECTRIC HAND DRYER
- OS = OCCUPANCY SENSOR
- P = PRESENT TO REMAIN.
- PX = PRESENT TO BE REMOVED.
- PXN = PRESENT TO BE REMOVED, CLEANED, REPAIRED TO OPERATING CONDITION AND RELOCATED.
- PN = FINAL LOCATION OF DEVICE ASSOCIATED WITH PXN.
- PX-DO = PRESENT TO BE REMOVED & DELIVERED TO OWNER.



2 SECOND FLOOR CONSTRUCTION PLAN

SCALE: 1/4"=1'-0"

SECOND FLOOR ELECTRICAL SCOPE OF WORK:
 1. ALL LIGHTS SUPPLIED BY CITY OF GALENA.
 2. PROVIDE AND INSTALL NEW LED EXIT AND EMERGENCY LIGHTING.

REST ROOM:
 1. PROVIDE AND INSTALL GFI OUTLET NEAR SINK.
 2. REMOVE EXISTING OVERHEAD LIGHT. REPLACE WITH ONE (1) NEW PENDANT LIGHT HANGING FROM CENTER OF REST ROOM.
 3. REMOVE EXISTING VANITY LIGHT. COORDINATE WITH CONSTRUCTION CONTRACTOR IF NECESSARY FOR ANY PATCH WORK. INSTALL ONE (1) NEW VANITY LIGHT.
 4. PROVIDE AND INSTALL NEW HAND DRYER AS INDICATED ON PLANS.

BREAK ROOM:
 1. PROVIDE AND INSTALL FIVE (5) ADDITIONAL OUTLETS, AS INDICATED ON PLANS.
 2. COORDINATE WITH PLUMBER AND CONSTRUCTION CONTRACTOR TO WIRE AND INSTALL BUILT-IN DISHWASHER. CITY OF GALENA TO PROVIDE DISHWASHER.
 3. REMOVE EXISTING ONE (1) OVERHEAD LIGHT FIXTURE. INSTALL TWO (2) NEW LIGHT FIXTURES.
 4. PROVIDE AND INSTALL TWO (2) NEW ELECTRICAL OUTLETS AT COUNTER HEIGHT ON EAST WALL WITH GFI AS NEEDED.
 5. PROVIDE AND INSTALL THREE (3) NEW OUTLETS ON SOUTH AND WEST WALL, AS INDICATED ON PLANS. OUTLET ON SOUTH/WEST SHORT WALL WILL POWER A WATER/ICE-DISPENSING REFRIGERATOR.

OFFICES 2A - 2E:
 1. REVIEW EXISTING WIRING. ADVISE IF CEILING FAN WOULD BEST BE WIRED WITH A SWITCH TO TURN ON THE FAN OR IF FAN SHOULD BE ORDERED WITH REMOTE CONTROL (ALL OFFICES).
 2. IN OFFICE - 2A, REMOVE EXISTING CEILING FAN AND OVERHEAD LIGHT. CONSTRUCTION CONTRACTOR TO CAP AND PATCH CEILING. INSTALL ONE (1) NEW CEILING FAN WITH LIGHT IN CENTER OF ROOM. INCLUDE WIRING TO OPERATE FAN WITH VARIABLE SWITCH AND LIGHT WITH DIMMABLE SWITCH.
 3. PROVIDE AND INSTALL NEW OUTLET AND DATA BOX WHERE SHOWN ON DRAWINGS (ALL OFFICES).
 4. INSTALL ONE (1) CEILING FAN WITH LIGHT FIXTURE (OFFICES 2B-2D).
 5. INSTALL ONE (1) CEILING HUGGER FAN WITH LIGHT FIXTURE (OFFICE 2E).
 6. PROVIDE AND INSTALL RECESSED DUPLEX RECEPTACLE ON SOUTH WALL OF OFFICE 2B AT VIEWING HEIGHT. AV TECHNICIAN WILL BE INSTALLING A FLAT SCREEN TV FOR MEETING ROOM PRESENTATIONS.
 7. PROVIDE AND INSTALL STANDARD OUTLET DIRECTLY BELOW FLAT SCREEN TV AT BASEBOARD LEVEL (OFFICE 2B).
 8. PROVIDE AND INSTALL NEW DATA, CABLE BOX, AND COAXIAL CAT 6 WIRING IN LOCATIONS SHOWN. NEW DATA AND CABLE BOX TO HAVE TV AND COMPUTER CONNECTION DEVICES. EXTEND DATA WIRING BACK TO "D" MARK PANEL LOCATED IN MECHANICAL ROOMS (OFFICE 2B).

MECHANICAL ROOM:
 1. COORDINATE WITH PLUMBER. PROVIDE POWER FOR ELECTRIC WATER HEATER MOUNTED ABOVE SERVICE SINK ON BRACKET HUNG FROM CEILING STRUCTURE FROM THREADED ROD.

ENTRY HALL/HALLWAY:
 1. REPLACE EXISTING OVERHEAD LIGHTS WITH NEW FIXTURES.

PORCH ENTRANCE:
 1. REMOVE EXISTING FLOOR LIGHT AT TOP OF STEPS.
 2. INSTALL NEW EXTERIOR FLOOD LIGHT WITH LED LIGHTING FOR DOOR AND STEPS. FIXTURE WILL HAVE MOTION SENSOR.

ELECTRICAL GENERAL NOTES:
 1. ELECTRICAL CONTRACTOR TO PROVIDE ALL ELECTRICAL SUPPLIES, INCLUDING, BUT NOT LIMITED TO, WIRING, CONDUIT, OUTLETS, SWITCHES, AND JUNCTION BOXES.
 2. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CLEAN UP AT THE END OF THE PROJECT AND WILL ENSURE THAT ALL EXCESS MATERIALS ARE REMOVED FROM THE SITE.
 3. ALL INSTALLATIONS SHALL BE MADE IN ACCORDANCE WITH THE 2014 NATIONAL ELECTRIC CODE.
 4. ELECTRICAL CONTRACTOR MUST CALL TO ELECTRICAL INSPECTIONS AS REQUIRED.
 5. ELECTRICAL CONTRACTOR MUST COORDINATE WITH ALL OTHER PROJECT CONTRACTORS TO COMPLETE PROJECT IN TIMELY, EFFICIENT, AND BUDGET-FOCUSED MANNER.
 6. ELECTRICAL CONTRACTOR SHALL VERIFY ALL OUTLET MOUNTING ARRANGEMENTS, HEIGHTS AND LOCATIONS PRIOR TO ROUGH-IN. ANY MENTION OF A SPECIFIC MOUNTING ARRANGEMENT, HEIGHT OR LOCATION SHALL NOT RELIEVE THE ELECTRICAL CONTRACTOR OF THE RESPONSIBILITY TO VERIFY THE SPECIFIC REQUIREMENT WITH THE EQUIPMENT FURNISHED OR THE OTHER TRADES WORKING IN THE SAME AREA. NO ADDITIONS TO THE CONTRACT SUM WILL BE PERMITTED FOR OUTLETS IN WRONG LOCATIONS, IN CONFLICT WITH OTHER WORK, ETC. THE OWNER RESERVES THE RIGHT TO RELOCATE ANY DEVICE 10'-0" PRIOR TO ROUGH-IN WITHOUT ANY ADDITIONAL CHARGES BY THE ELECTRICAL CONTRACTOR.
 7. ALL NEW DEVICES TO BE 20 AMP, UNLESS OTHERWISE NOTED.
 8. THE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE FULL YEAR AFTER FINAL ACCEPTANCE BY THE ARCHITECT AND OWNER.
 9. ALL WIRE AND CABLE SHALL BE COPPER ONLY, TYPE "THIN" OR "XHHW" MINIMUM WIRE SIZE TO BE #12 EXCEPT FOR CONTROL WIRE. ALL WIRE SIZE #10 AWG AND SMALLER SHALL BE SOLID. ALL CABLE #18 AWG AND LARGER SHALL BE STRANDED.
 10. ALL NEW ELECTRICAL WORK SHALL BE INSTALLED IN CONDUIT. WIRE SHALL BE INSTALLED IN THIN WALL (E.M.T.) CONDUIT UNLESS OTHERWISE NOTED. MINIMUM SIZE SHALL BE 3/4" EXCEPT FOR DROPS FOR DEVICES, SWITCH LEGS, TEMPERATURE CONTROL CONDUITS, WHERE INDICATED OR AS CALLED FOR ON DRAWINGS. ALL THIN WALL FITTINGS SHALL BE OF THE STEEL SET SCREW TYPE. ALL CONDUIT FASTENERS, STRAPS, SUPPORTS, ETC. MUST BE "BOLT-ON" GALVANIZED STEEL ON EXPOSED CONSTRUCTION AND IN WET AREAS. ALL CONDUIT RACEWAYS SHALL BE CONCEALED IN OR WITHIN WALLS, CEILING CAVITY. ANY OTHER RACEWAY THAT IS TO BE ROUTED EXPOSED SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION. ALL CONDUIT SHALL BE ROUTED PARALLEL OR PERPENDICULAR TO WALLS AND STRUCTURAL MEMBERS WITH 45° BENDS WHERE REQUIRED AND SHALL BE RACKED. FULL AND JUNCTION BOXES SHALL BE HELD TO A MINIMUM.
 11. NO WIRING SHALL BE ROUTED THROUGH HVAC AIR DUCTS.

FIXTURE SCHEDULE

FIXTURE	MOUNTING	MANUFACTURER	COMMENTS
F1	SURFACE	SEAGULL #5436LE-740	BOXED LIGHTING (2 PER ROOM REPLACES 1 PER ROOM IN BREAK ROOMS)
F2	SURFACE	KICHLER #426440Z	PENDANT (2 PER OFFICE TO REPLACE EXISTING)
F3	SURFACE	KICHLER #10500Z	TRACK (1 IN BAY WINDOW TO REPLACE EXISTING)
F4	SURFACE	SEAGULL #3114505-782	CHANDELIER (2 IN ENTRY/LOBBY TO REPLACE EXISTING)
F5	SURFACE	KICHLER #434570Z	CHANDELIER (1 NEW REPLACES 2 EXISTING)
F6	WALL	KICHLER #444444AZ	WALL SCONGES (2 NEW TO BE INSTALLED ON WEST WALL)
F7	WALL	SEAGULL #4414503-782	VANITY LIGHT (REPLACES EXISTING)
F8	SURFACE	QUOIZEL #TRG1120Z	REST ROOM OVERHEAD LIGHTS (REPLACE EXISTING)
F9	SURFACE	SEAGULL #6514501-782	REST ROOM PENDANT (INSTALL NEW)
F10	WALL	SEAGULL #4414504-782	VANITY LIGHT (REPLACE EXISTING)
F11	SURFACE	KICHLER #34700	REPLACE EXISTING & CHECK POSITIONING
F12	SURFACE	KICHLER #34644	REPLACE EXISTING
F13	SURFACE	TBD	MOTION SENSOR AT TOP OF STEPS
F14	SURFACE	EMERSON #CFT000RB EMERSON #LK1800RB	CEILING FAN WITH LIGHT
F15	SURFACE	EMERSON #CFT1000RB EMERSON #LK1800RB	CEILING HUGGER CEILING FAN WITH LIGHT
F16	SURFACE	LITHONIA LHQM LED R ELA Q L0304	EXIT/EMERGENCY LIGHT COMBO W/ BATTERY BACKUP
F17	SURFACE	LITHONIA APN W	EMERGENCY LIGHT WITH BATTERY BACKUP

NOTE: FIXTURE SCHEDULE PROVIDED FOR BID PURPOSES. OWNER TO SELECT FINAL FIXTURES WITH COST DEDUCTED OR ADDED TO CONTRACTOR PRICE AS APPLICABLE. FOLLOW ALL MANUFACTURER RECOMMENDATIONS FOR LAMP BURN IN TIMES.



JOB NO. 11817
DATE: 04/05/17

#	11/20	OWNER MODIFICATIONS OF	BY
NEW DATE	DESCRIPTION	REVISION	SCHEDULE

CHRISTOPHER FYE and ASSOCIATES
 ARCHITECTS + PLANNERS
 105 W. MAIN ST., SUITE 100, FREEPORT, IL 61032
 PHONE 815.233.2215 INFO@FYEARCH.COM



REMODELING WORK FOR
THE OLD TRAIN DEPOT
 101 BOUTHILLIER ST. GALENA, ILLINOIS, 61036



S P E C I F I C A T I O N S

DIVISION 1. GENERAL NOTES

Contractor shall verify all dimensions at the job site.
 Contractor shall establish all lines and levels for work and shall coordinate his work with other Contractors for smooth progression of the work.
 Code requirements for material and workmanship of every kind shall comply with the local requirements of the building and electrical codes. Such compliance shall take preference over items that may be specified or detailed otherwise.
 Contractor(s) shall take out and pay for all permits, inspection certificates, bonds and sureties required by governmental bodies.
 General Contractor and all subcontractors each as the trade applies, shall be responsible to install a complete job based upon direction from these drawings. Any contradictions or incomplete information should be submitted to the Architect before construction commences.
 Project shall be separate bids with general construction, electrical, mechanical, and plumbing work to be provided to Owner who shall act as the Project Manager on the work. Contractor(s) to submit names of proposed subcontractors with his bid and breakdown of individual subcontractor bids. Prior to beginning work, each contractor shall furnish certificates of insurance for workers compensation and liability coverages with insurance coverages to comply with City of Galena policy requirements. Policy shall list owner, engineer, and architect as additional insured.
 Monthly payments shall be made to contractors based on previous month's accepted work. See attached prevailing wage information in City of Galena front end documents which includes all bidding requirements.
 Provide waiver(s) of lien for all work covered at each payment draw.

Allowances:

Appliances: Provided by Owner, installed by Contractor
 Floor coverings: By Owner

Plans and specifications are cooperative. All labor and materials required to fully carry out the intention of the plans and specifications are part of this contract whether or not specifically documented. The Contractor shall provide each item mentioned, indicated, or implied to achieve the intended building according to the methods of best construction practice. In no event is any article, operation, method or materials to fall below the standards set by the International Building Code. The Contractor shall comply with all state and local codes even in the event of conflicting requirements in the plans and specifications. All equipment and materials to be installed according to the manufacturer's recommendations and are to be new.

DIVISION 2. SITE WORK N/A

DIVISION 3. CONCRETE N/A

DIVISION 4. MASONRY-- BY OWNER

DIVISION 5. METALS -- BY OWNER

DIVISION 6. CARPENTRY AND MILLWORK

Misc. Framing: S.P.F., standard or better, as needed.
 Cabinets:
 Break Room(s): Bertch or approved equal Square Raised Panel, Painted Poplar.
 Selected by Owner.
 2nd Floor Rest Room: Lowe's Diamond FreshFit Palencia (white) lavatory base Model #20R V5DB48
 Countertops:
 Break Room(s): Plastic Laminate with 4" backsplash. Selected by Owner.
 2nd Floor Rest Room: Model #4918W704 (Steel Gray on White-Gloss cultured marble undermount sink)

DIVISION 7. MOISTURE PROTECTION

Sealants: Where the opening is more than 3/8", pack with neoprene backer rod to 3/8" from surface and seal.
 Interior: Silicone at plumbing fixtures; acrylic latex at all other locations
 Exterior: One-part urethane; equal to Sonnebom NP-1
 Roof Vent Flashing: Provided by Mechanical Contractor and compatible with roof finishes (shingle/EPDM).
 Roof Insulation: Spray foam with fire barrier coating. R-38 provided by Owner's Subcontractor.

DIVISION 8. DOORS AND WINDOWS

Existing windows and doors unless otherwise noted: Contractor to remove, re-swing, and reinstall second floor Mechanical Room door and first floor women's restroom door. See Door schedule and plans for location of new doors and frames. See scope of work for door hardware/ latch set information.
 Owner to provide wood storm windows.

DIVISION 9. FINISHES

Soffits and ceilings to be gypsum wallboard, taped, and finished with a 2 step Cal Coat finish with metal corner beads. Finish texture to match existing. All new GWB is to be moisture resistant (MR) board and be 5/8" thick.
 All painting to be by separate contractor to Owner.
 Finish Flooring: By Owner's Subcontractor.

DIVISION 10. EQUIPMENT

By Owner.

DIVISION 15 & 16. MECHANICAL AND ELECTRICAL

All work to comply with all relevant national, state and local codes.
H.V.A.C.: By separate Contractor.
Plumbing: By separate Contractor. Scope of Work located on drawing sheet P-1.
Electrical: By separate Contractor. Scope of Work located on drawing sheet E-1.

JOB NO.
11817

DATE:
04/09/17

#	DATE	DESCRIPTION	BY

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